



Town of Discovery Bay

"A Community Services District"

AGENDA REPORT

Meeting Date

January 4, 2012

Prepared By: Dina Breitstein, Finance Manager
Submitted By: Rick Howard, General Manager

Agenda Title

Approve and Adopt Resolution 2012-03 for the Reserve Fund Policy for the Town of Discovery Bay Community Service District

Recommended Action

Recommend approval of the Town of Discovery Bay Community Service District Reserve Fund Policy and adopt Resolution 2012-03 establishing a Town of Discovery Bay Reserve Fund Policy

Executive Summary

The Town of Discovery Bay Community Services District (TODBCSD) does not presently have an "Official" Reserve Fund Policy. On May 21, 2008, the Board, by motion, authorized that \$3.0M be maintained as a reserve. Adequate designation of reserves is critical to the successful and stable, short and long-term operation of the TODBCSD. Adequate reserves ensure that the District will at all times have sufficient funding available to meet its operating and capital needs, as well as any unfunded mandates. The ability of the TODBCSD to maintain reserve funds is a critical factor in providing reliable service, and ensuring the Districts overall financial stability.

The TODBCSD has established a reserve fund for its long term organizational and operational stability and the reserve funds enable the TODBCSD to cover expenditures due to unforeseen and unexpected cash flow requirements. This Reserve Fund Policy ensures that the TODBCSD accumulates, manages, maintains and uses certain financial resources only for specified purposes.

Specific Reserve Fund Policies and recommendations have been established for the Water and Wastewater District, Lighting & Landscaping District #8, and Lighting & Landscaping District #9. They are as follows;

Water & Wastewater Fund: It is recommended that Reserves be established at no less than twenty-five percent (25%) of Community Services District revenues on an annual basis. For FY 2011-12, this would be \$1,500,000. Currently the Water & Wastewater fund has present balance of \$3,000,000.

Lighting & Landscaping District 8: It is recommended that Reserves be established at no less than fifty percent (50%) of Lighting & Landscaping District 8 revenues on an annual basis. For FY 2011-12, this would be no less than \$226,750.

Lighting & Landscaping District 9: It is recommended that Reserves be established at no less than fifty percent (50%) of Lighting & Landscaping District 9 revenues on an annual basis and is limited to a maximum of 200% of the total funds collected by the LLD. For FY 2011-12, this would be no less than \$56,550.

Fiscal Impact: N/A

Previous Relevant Board Actions for This Item

May 21, 2008 Board Meeting

Attachments:

Resolution 2012-03 authorizing the establishment of the Reserve Fund Policy
Copy of the Reserve Policy

AGENDA ITEM: G-3

TOWN OF DISCOVERY BAY
COMMUNITY SERVICES DISTRICT
RESOLUTION NO. 2012-03



A RESOLUTION OF THE BOARD OF DIRECTORS OF THE
TOWN OF DISCOVERY BAY COMMUNITY SERVICES DISTRICT
ESTABLISHING A RESERVE FUND POLICY

WHEREAS, Town of Discovery Bay Community Services District does not presently have an official Reserve Policy, and

WHEREAS, it is acknowledged that adequate reserves ensure that the District will at all times have sufficient funding available to meet its operating and capital needs, as well as any unfunded mandates; and

WHEREAS, the Board of Directors reviewed that policy and determined it is appropriate to adopt; and

NOW, THEREFORE, THE BOARD OF DIRECTORS OF THE TOWN OF DISCOVERY BAY COMMUNITY SERVICES DISTRICT DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. Establish a Water & Wastewater Reserve Fund at not less than twenty-five percent (25%) of Community Services District revenues on an annual basis.

SECTION 2. Establish a Lighting & Landscaping District 8 Reserve Fund at not less than fifty percent (50%) of Lighting & Landscaping District 8 revenues on an annual basis.

SECTION 3. Establish a Lighting & Landscaping District 9 Reserve Fund at not less than Fifty percent (50%) of Lighting & Landscaping District 9 revenues on an annual basis and is limited to a maximum of 200% of the total funds collected by the Lighting and Landscape District.

SECTION 4. The Board Secretary shall certify the adoption of this Resolution.

PASSED, APPROVED AND ADOPTED THIS 4th DAY OF JANUARY 2012.

Board President

I hereby certify that the foregoing Resolution was duly adopted by the Board of Directors of the Town of Discovery Bay Community Services District at a regularly scheduled meeting, held on January 4, 2012 by the following vote of the Board:

AYES:
NOES:
ABSENT:
ABSTAIN:

Richard J. Howard
Board Secretary



Category:	Financial	Policy #
Title:	Town of Discovery Bay Community Service District Reserve Policy	

A. Purpose

Prudent financial planning and fiscal responsibility includes anticipating and preparing for future funding requirements as well as unforeseen and unexpected emergencies, disasters, and other events. The Town of Discovery Bay CSD (TODBCSD) has established a reserve fund for its long term organizational and operational stability and the reserve funds enable the TODBCSD to cover expenditures due to unforeseen and unexpected cash flow requirements. This Reserve Fund Policy ensures that the TODBCSD accumulates, manages, maintains and uses certain financial resources only for specified purposes.

B. Reserve Funds

The TODBCSD's reserve funds are established, maintained and set aside for a specific, designated purpose, and therefore are restricted in the way they can be used.

C. Specific Reserve Funds

The TODBCSD maintains the following reserve fund:

1. Capital and Operating Reserve. The Capital and Operating Reserve is to be utilized for unforeseen capital projects that are necessary to meet regulatory requirements, system reliability, and future needs; and to cover cash flow shortages caused by a short-term, unexpected disruption of anticipated revenue or when expenses become due before the anticipated revenue to pay those expenses is received. It is the goal of the district to maintain the Capital Reserve of no less than 25% of the Water and Wastewater annual operating revenue.
2. Lighting and Landscaping #8 Reserves. The Capital Reserve is to be used for capital projects that are necessary to meet regulatory requirements, and future improvements; and to cover cash flow shortages caused by a short-term, unexpected disruption of anticipated revenue or when expenses become due before the anticipated revenue to pay those expenses is received. It is the goal of the Lighting and Landscaping District (LLD) #8 to maintain the capital reserve of no less than 50% of the total operating revenues.
3. Lighting and Landscaping #9 Reserves. The Capital Reserve is to be used for capital projects that are necessary to meet regulatory requirements, and future improvements; and to cover cash flow shortages caused by a short-term, unexpected disruption of anticipated revenue or when expenses become due before the anticipated revenue to pay those expenses is received. The Lighting and Landscaping District (LLD) #9 reserve account will maintain a reserve of no less than 50% of the total operating revenues and is limited to a maximum of 200% of the total funds collected by the LLD. After the reserve has accrued to the maximum amount, any money received by the LLD in excess of what was spent on the annual maintenance and administrative costs will be returned to the property owner in the form of a reduced assessment for the following year.

D. Management Of Reserve Funds

The General Manager or designee shall be responsible for managing the reserve fund. The Board of Directors must authorize the expenditure of money from the TODBCSD's reserve fund. The TODBCSD's Finance Department will review the balance of the reserve funds, work collaboratively with the General Manager to ensure the accuracy of the annual report, and evaluate the goals and purposes of each reserve fund and recommend adjustments as may be necessary or desirable.



Town of Discovery Bay

"A Community Services District"

AGENDA REPORT

Meeting Date

January 4, 2012

Prepared By: Fairin Perez, Parks and Landscape Manager
Submitted By: Rick Howard, General Manager

Agenda Title

Approve and Adopt Resolution 2012-04 amending the Discovery Bay Landscape & Lighting Zone 8 FY 2011-2012 Operating and Capital Improvement Program Budget

Recommended Action

Approve and Adopt Resolution 2012-04 amending the Discovery Bay Landscape & Lighting Zone 8 FY 2011-2012 Operating and Capital Improvement Program Budget

Executive Summary

The Town of Discovery Bay Community Services District Board of Directors approved and adopted the Final FY 2011-2012 Operating and Capital Improvement Budget for the Discovery Bay Lighting & Landscape Zone 8 (Zone 8) on June 15, 2011.

Staff has reviewed the Zone 8 FY 2011-2012 budget. Expenditures and revenues have changed and it is appropriate to amend the budget and incorporate estimated year end costs as well as establish a reserve fund. The overall fiscal impact of this budget amendment increases by \$90,588 the anticipated year end fund balance. This includes \$9,498 in increased realized revenue; an increase in Operating expenses in the amount of \$4,900; a reduction in the amount of \$50,597 to the Capital Improvement Program Budget (largest line item adjustments include Cornell Park Dog Park Fencing, Cornell Park Playground Replacement, Discovery Bay (West)/Sand Point Road and Highway 4 East); and a \$35,393 increase to beginning fund balance.

Staff is prepared to discuss the details of the proposed budget amendment. Please note that all funds not specifically budgeted will be placed into reserves. After all the adjustments are made, there will be \$1,146,602 remaining in fund balance.

Fiscal Impact:

Amount Requested: N/A (Adjustments)
Sufficient Budgeted Funds Available: Yes
Fund # Zone 8 Category: Operating & Capital

Previous Relevant Board Actions for This Item

Approval and Adoption of the Proposed Final 2011-2012 Operating and Capital Improvement Budgets for the Discovery Bay Lighting & Landscaping Zone #8 & Zone #9 – June 15, 2011

Attachments

Discovery Bay Lighting & Landscape Zone 8 Draft Budget Amendment, Dated 12.27.2011
Resolution 2012-04

AGENDA ITEM: G-4



Operating & Maintenance Budget									
Obj #	Account Description	2010/2011 Approved Budget	2010/2011 Actual Year-End	Year End Variance	2011/2012 Approved Budget	2011/2012 Processed Thru 12/14	% of Budget	2011/2012 Amended Budget	Revision Amount
	Salary & Wages								
2310	Staff Payroll	\$ 72,000	\$59,330.00	\$12,670	\$93,760	\$53,084	57%	\$93,760	\$0
	Sub-Total	\$72,000	\$59,330	\$12,670	\$93,760	\$53,084	57%	\$93,760	\$0
	Contractual Services								
2310	Professional/Specialized Services	\$8,100	\$8,934	(\$834)	\$8,000		0%	\$8,000	\$0
2360	Insurance	\$5,200	\$2,075	\$3,125	\$5,000	\$4,949	99%	\$6,500	\$1,500
	Sub-Total	\$13,300	\$11,009	\$2,291	\$13,000	\$4,949	38%	\$14,500	\$1,500
	Operations & Maintenance								
2100	Office Expenses, Supplies	\$1,250	\$1,629	(\$379)	\$1,250	\$613	49%	\$1,250	\$0
2102	Books, Periodicals & Subscriptions	\$200	\$60	\$140	\$200	\$30	15%	\$200	\$0
2103	Postage	\$50	\$11	\$39	\$50	\$22	44%	\$100	\$50
2110	Communications	\$600	\$60	\$540	\$1,765	\$389	22%	\$1,765	\$0
2120	Utilities (Street Lights, Water, Garbage)	\$100,000	\$93,959	\$6,041	\$108,500	\$54,957	51%	\$108,500	\$0
2130	Small Tools & Instruments	\$1,850	\$1,977	(\$127)	\$2,000	\$1,868	93%	\$3,000	\$1,000
2131	Minor Equipment, Furniture less than \$1,000	\$350	\$178	\$172	\$500	\$217	43%	\$500	\$0
2170	Household Items	\$1,400	\$1,356	\$44	\$1,750	\$545	31%	\$1,750	\$0
2190	Public Notices	\$150		\$150	\$300		0%	\$300	\$0
2200	Memberships	\$300	\$165	\$135	\$250	\$387	155%	\$500	\$250
2250	Rent & Lease of Equipment	\$500	\$220	\$280	\$500	\$133	27%	\$500	\$0
2251	Computer Software	\$0		\$0	\$0			\$0	\$0
2270	Maintenance of Equipment	\$950	\$404	\$546	\$1,000	\$679	68%	\$1,200	\$200
2271	Automotive Supplies & Repairs	\$2,000	\$1,870	\$130	\$2,000	\$1,048	52%	\$2,000	\$0
2272	Gasoline	\$4,000	\$273	\$3,727	\$3,500	\$3,648	104%	\$3,500	\$0
2281	Maintenance of Buildings	\$5,300	\$5,913	(\$613)	\$5,400	\$3,534	65%	\$6,500	\$1,100
2282	Grounds Maintenance	\$205,000	\$191,436	\$13,564	\$212,000	\$99,154	47%	\$212,000	\$0
2284	Requested Maintenance from County	\$0		\$0	\$0			\$0	\$0
2301	Employee Auto Mileage - Reimbursement	\$100	\$241	(\$141)	\$100	\$532	532%	\$600	\$500
2303	Other Travel Employee Expenses	\$750	\$433	\$317	\$1,500	\$528	35%	\$1,500	\$0
2470	Road/Construction Materials (Street Signs)	\$500		\$500	\$500	\$65	13%	\$500	\$0
2479	Other Special Expenses	\$3,500	\$2,717	\$783	\$12,000	\$8,012	67%	\$12,000	\$0
2490	Miscellaneous Services & Supplies	\$300	\$307	(\$7)				\$300	\$300
	Sub-Total	\$329,050	\$303,209	\$26,841	\$355,065	\$176,361	60%	\$368,465	\$3,400
7800	Inter-Governmental Charges								
3530/3550	Taxes & Assessments		\$2,719	(\$2,719)	\$1,000	\$758	76%	\$1,000	\$0
3611	Interfund Exp. (Investment & Property Tax)	\$500		\$500	\$500			\$500	\$0
6011	Reimbursement for County Admin. Costs	\$500		\$500	\$500			\$500	\$0
	Sub-Total	\$1,000	\$2,719	(\$1,719)	\$2,000	\$758	38%	\$2,000	\$0
	TOTAL O&M Budget	\$415,350	\$376,267	\$39,083	\$463,825	\$235,162		\$468,726	\$4,900

Capital Budget									
Acct. #	Account Description	2010/2011 Approved Budget	2010/2011 Actual Year-End	Year End Variance	2011/2012 Approved Budget	2011/2012 Actuals Thru November	% of Budget	2011/2012 Amended Budget	Revision Amount
	PARKS:								
4789	Cornell Park - Playground Replacement	\$226,000	\$56,362	\$169,638	\$126,000	\$163,700	130%	\$165,000	\$39,000
4834	Cornell Park (Restroom Partitions)	\$7,500	\$2,686	\$4,814					\$0
	Cornell Park (ADA Upgrades)				\$35,000	\$34,600	99%	\$34,600	(\$400)
	Cornell Park (Tennis Court Surfacing)				\$20,000			\$20,000	\$0
	Cornell Park (Dog Park Fencing)				\$85,000			\$0	(\$85,000)
	Cornell Park (Tot Lot Removal)				\$12,500			\$12,500	\$0
	Cornell Park (Horse Shoe & Bocce Court)				\$15,000			\$25,000	\$10,000
	Parks Sub Total	\$233,500	\$59,048	\$174,452	\$293,500	\$198,299	68%	\$257,100	(\$36,400)
	STREETSCAPE:								
4265	Various Improvements	\$7,500	\$4,062	\$3,438	\$7,500	\$806	11%	\$7,500	\$0
4546	Structure & Walkway Repairs	\$2,000	\$1,225	\$775	\$2,000			\$2,000	\$0
4829	Landscape Master Plan Areas			\$2					\$0
	Willow Lake Road Streetscape	\$102,500	\$102,498	\$2					\$0
	Discovery Bay Blvd. (West) / Sand Point Road	\$175,000	\$174,808	\$192	\$12,000	(\$19,697)		(\$19,697)	(\$31,697)
	Highway 4 (East)				\$30,000			\$55,000	\$25,000
	Discovery Bay Blvd. (East)				\$50,000	\$40,606		\$42,500	(\$7,500)
	Streetscape Sub Total	\$287,000	\$282,593	\$4,407	\$101,500	\$21,715		\$97,303	(\$14,197)
	MISC.:								
4853	Vehicle Purchase	\$14,000	\$14,254	(\$254)	\$25,000	\$21,679		\$25,000	\$0
4959	Tools & Sundry Equipment	\$2,750		\$2,750	\$3,000			\$3,000	\$0
	Misc. Sub Total	\$14,000	\$14,254	(\$254)	\$25,000	\$21,679		\$25,000	\$0
	Total Capital Budget	\$534,500	\$366,895	\$178,605	\$420,000	\$241,693	58%	\$369,403	(\$50,597)



Revenue Budget									
Acct#	Account Description	2010/2011 Approved Budget	2010/2011 Actual Year-End	Year End Variance	2011/2012 Approved Budget	2011/2012 Actuals Thru November	% of Budget	2011/2012 Amended Budget	Revision Amount
	Revenue								
740	Current Funds In Contra Costa County	\$1,732,129	\$1,713,602	(\$18,527)	\$1,408,536	\$1,443,929	103%	\$1,443,929	\$35,393
500	Accounts Payable - Yr. End								\$0
510	Retainage Account								\$0
830	Disbursements	(\$5,885)	(\$5,017)	\$868					\$0
9010	Current Property Taxes	\$381,210	\$438,015	\$56,805	\$430,000	\$439,498	102%	\$439,498	\$9,498
9011	Property Tax Supplemental/Unitary/Secured		\$6,714	\$6,714					\$0
9018	SRAF State Rev Transfer								\$0
9020	Property Taxes - Current Unsecured	\$18,029	\$15,291	(\$2,738)	\$14,000			\$14,000	\$0
9035	Property Taxes - Prior Unsecured		\$248	\$248					\$0
9181	Earnings on Investments	\$1,000	\$404	(\$596)					\$0
9385	H/O Prop Tax Relief/State Aid/in Lieu Taxes		\$4,991	\$4,991					\$0
9975	Misc. Non Taxable Revenue		\$1,842	\$1,842	\$0				\$0
9799	Misc Revenue & Services	\$770		(\$770)					\$0
	GRAND TOTAL REVENUE	\$395,124	\$462,488	\$67,364	\$444,000	\$439,498	99%	\$453,498	\$9,498

Summary									
		2010/2011 Approved Budget	2010/2011 Actual Year-End	Year End Variance	2011/2012 Approved Budget	2011/2012 Actuals Thru November	% of Budget	2011/2012 Amended Budget	Revision Amount
	TOTAL O&M Budget	\$416,360	\$376,267.00	\$39,093	\$463,825	\$235,162	51%	\$468,726	\$4,900
	TOTAL CAPITAL Budget	\$634,600	\$356,895.26	\$178,806	\$420,000	\$241,693	58%	\$369,403	(\$50,597)
	GRAND TOTAL BUDGETS	\$949,850	\$732,162.25	\$217,687.76	\$883,825	\$476,846	54%	\$838,128	(45,697)
	TOTAL ANNUAL REVENUE	\$395,124	\$462,488.00	\$67,364.00	\$444,000	\$439,498	99%	\$453,498	\$9,498
	BALANCE FORWARD	\$1,732,129	\$1,713,602.00	(\$18,527.00)	\$1,408,536	\$1,443,929	103%	\$1,443,929	\$35,393
	FUND VALUE	\$2,127,253	\$2,176,090	\$48,837	\$1,862,536	\$1,883,427	102%	\$1,897,427	\$44,891
	CONTRIBUTION TO RESERVES	\$300,000	\$300,000.00	\$0	\$968,711			\$1,059,299	\$90,588
	GRAND TOTAL (Budgets/Revenue/Reserve)	\$ 877,403	\$ 1,143,928		\$0	\$1,406,581		\$0	
	End of year Fund Balance:	\$ 1,177,403	\$ 1,443,928	\$ 266,525					

Fiscal Impact of Budget Amendment: \$90,588

Highlights: \$9,498 Increased Revenue
 \$4,900.00 Requested Increase to Operating Budget
 \$ (50,596.97) decrease to Capital (Dog Park Removal / Increases to Various Projects)
 \$ 35,393.00 Higher starting balance than anticipated



**TOWN OF DISCOVERY BAY
COMMUNITY SERVICES DISTRICT
RESOLUTION NO. 2012-04**

**A RESOLUTION OF THE BOARD OF DIRECTORS
OF THE TOWN OF DISCOVERY BAY COMMUNITY SERVICES DISTRICT
AMENDING THE FY 2011-12 DISCOVERY BAY LANDSCAPE AND LIGHTING ZONE 8
OPERATING AND CAPITAL IMPROVEMENT PROGRAM BUDGET**

WHEREAS, the Town of Discovery Bay Community Services District operates and manages the landscape areas more commonly known as the Discovery Bay Landscape And Lighting Zone 8 (Zone 8) Operating And Capital Improvement Program Budget; and

WHEREAS, Cornell Park is located within Zone 8 which underwent a Capital Improvement Project to replace and upgrade the children's play area in FY 2011-12; and

WHEREAS, the Board previously approved a \$226,000 budget in FY 2010/2011 for the play area replacement project and it is necessary to increase the FY 2011/2012 play area replacement project budget from \$126,000 to \$165,000, to ensure adequate funds are available for the project, and

WHEREAS, the Board previously approved a \$85,000 budget in FY 2011/2012 for Dog Park fencing at Cornell Park, where it has subsequently been determined that a leash free park is not feasible at that location and it is necessary to transfer the funds for the leash free park project to reserves, and

WHEREAS, the Board previously approved a \$15,000 budget in FY 2011/2012 for repairs to the Horse Shoe Pits and Bocce Ball Courts at Cornell Park, and it has been determined that repair costs will exceed the estimated budget in the amount of \$10,000, and it is necessary to increase the 2011/2012 Cornell Park Horse Shoe & Bocce Ball Court budget by \$10,000, and

WHEREAS, a portion of Highway 4 landscaped area is located within Zone 8 and the Board previously approved a \$30,000 budget in 2011/2012 for planting improvements and it has been determined that unanticipated design and traffic control services will be necessary to meet Cal Trans permit requirements and it is necessary to increase the 2011/2012 Highway 4 (East) budget by \$25,000, and

WHEREAS, the Board previously approved a \$97,000 combined budget in FY 2011/2012 for Cornell Park ADA Upgrades, Discovery Bay Boulevard (West)/Sand Point Road, and Discovery Bay Boulevard (East); and the completed project expenditures are \$39,597 under budget and is appropriate to transfer the remaining funds for those projects back to the reserves account, and

WHEREAS, the Board previously approved a \$463,825 FY 2011/2012 Operations and Maintenance budget for Zone 8 and it is necessary to increase the Operations and Maintenance budget by \$4,900 in order to ensure adequate funding is available, and

WHEREAS, all remaining unbudgeted funds will be placed in unobligated fund balance for Zone 8.

NOW, THEREFORE, THE BOARD OF DIRECTORS OF THE TOWN OF DISCOVERY BAY COMMUNITY SERVICES DISTRICT DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. That the Board authorizes the increase of \$4,900 from ZONE 8 fund balance to the Zone 8 Operations and Maintenance budget.

SECTION 2. That the Board authorizes the various Capital Improvement fund adjustments in Zone 8 and transfers \$50,597 to the reserve account.

SECTION 3. That the Board authorizes amending the Revenue budget to reflect \$44,891 in increased revenue.

SECTION 4. That all unobligated funds be placed in Zone 8 reserve.

SECTION 5. The Board Secretary shall certify the adoption of this Resolution.

PASSED, APPROVED AND ADOPTED THIS 4th DAY OF January, 2012.

Board President

I hereby certify that the foregoing Resolution was duly adopted by the Board of Directors of the Town of Discovery Bay Community Services District at a regularly scheduled meeting, held on January 4, 2012, by the following vote of the Board:

AYES:
NOES:
ABSENT:
ABSTAIN:

Richard J. Howard
Board Secretary



Town of Discovery Bay

"A Community Services District"

AGENDA REPORT

Meeting Date

January 4, 2012

Prepared By: Fairin Perez, Parks and Landscape Manager
Submitted By: Rick Howard, General Manager

Agenda Title

Award of contract to Gates & Associates for design services for Highway 4 (East) Planting Improvement Project

Recommended Action

Accept proposal and direct General Manager to execute contract documents with Gates & Associates in the amount of \$8,350 (plus reimbursables) for Highway 4 (East) Planting Improvement Project

Executive Summary

On June 15, 2011 the Town of Discovery Bay Community Services District Board of Directors approved and adopted the FY 2011-12 Operating and Capital Budget for Discovery Bay Landscape & Lighting District 8. That budget authorized \$30,000 for the Highway 4 (East) planting improvement project.

It was later discovered that Cal Trans encroachment permit requirements are extensive and require the services of a Landscape Architect to assist in preparation of a demolition and planting plan. Gates & Associates (Gates) has submitted a proposal of \$8,350 to prepare the construction documents and which also includes a Traffic Control Plan (prepared by BFK, a consultant to Gates).

In order to process the additional requirements and anticipated cost increases, a line item adjustment has been requested of \$25,000 on the Draft Budget Amendment (a separate item also before the Board) for the Highway 4 (East) Planting Improvement Project

Staff recommends that the Board accepts the Proposal from Gates & Associates and directs the General Manager to execute a contract for design services on the Highway 4 (East) Planting Improvement Project in the amount of \$8,350 (plus reimbursables).

Fiscal Impact:

Amount Requested - \$8,350 (plus Reimbursables)
Sufficient Budgeted Funds Available?: Yes
Zone # 8, 4829 Category: Capital

Previous Relevant Board Actions for This Item

Approval and Adoption of the Proposed Final 2011-2012 Operating and Capital Improvement Budget for the Discovery Bay Lighting and Landscaping District 8 – June 15, 2011

Attachments

Gates & Associates. – Proposal for Landscape Architecture Services, dated 12.19.2011
Proposed Contract – Highway 4 (East) Planting Improvement Project, Design Services

AGENDA ITEM: G-5

December 19, 2011

Fairin Pérez
Township of Discovery Bay
1800 Willow Lake Road
Discovery Bay, California 94514

RE: *Hwy 4 – Planting Improvements*

Dear Ms. Perez:

Thank you for the opportunity to submit the following proposal for landscape architectural services for Planting Improvements between Discovery Bay Boulevard and Western Farms Road. Proposal includes submitting construction documents, including Plant Demolition Plan and Planting Plan. Traffic Control Plan will also be submitted in anticipation of Caltrans review.


Per phone discussion, this is not a Caltrans project. However, project will be reviewed by Caltrans for landscape conformance to Caltrans standards. Township will be coordinating review and permit from Caltrans.

Also note, that this project will not include any changes to existing grading and will only include performance notes for irrigation plans, since the understanding is that the existing system is fully functional and in good condition.

We look forward to working on this project.

Please call me with any questions you have. If the attached workscope is acceptable, please sign a copy of this letter and return to us for our files.

Sincerely,


Linda Gates
Partner
GATES + ASSOCIATES

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SCOPE OF SERVICES

This agreement is made as of *December 19th, 2011* by and between Gates + Associates, (GATES) [California License No. 1550], a California corporation, and *Township of Discovery Bay* ("Client").

As provided in this Agreement, GATES will provide landscape architectural services for the following project (the "Project"):

Hwy 4 – Planting Improvements between Discovery Bay Boulevard and Western Farms Ranch Road, walled edge only

I. Basic Services

GATES will perform the following services:

A. Construction Documents

GATES

1. Site visit to assess existing conditions including locating of and health of existing vegetation. Site assessment shall include recommendation for removal/renovation of planting along Highway 4.
2. Review of Caltrans planting standards for conformance to standards for tree and shrub choice in construction documents.
3. Preparation of construction documents for landscape architectural site improvements including:
 - a. Demolition Plan and Specifications
 - b. Planting Plan and Specifications
 - c. Landscape Irrigation Plan with only performance notes
4. Specifications using the standard C.S.I. format.
5. Preparation of Opinion of Probable Construction Cost based on the Construction Drawings.
6. Day-to-day coordination with Civil and other consultants as required.
7. Preparation of revisions to the Construction Documents based on Township of Discovery Bay and Caltrans comments.

BKF

1. Traffic Control Plans, assuming shoulder closure and intersection traffic modification for installation of new planting.

Construction Document Phase includes one (1) 100% CD submittal and one (1) final submittal, incorporating comments from 100% CD by Township and Caltrans review. No other additional submittals are included in this proposal.

Proposal also assumes that Township will be coordinating with Caltrans for review and permit application of project.

B. Assistance During Bid Process

1. Assistance to the Client during the bid process is not a part of the scope of services of this agreement. Any assistance during the bid process requested by the Client shall be billed as Additional Services at the rate listed in Item IV.

C. Construction Administration

1. Construction Observation is not a part of the scope of services of this agreement. Any Construction Observation requested by the Client shall be billed as Additional Services at the rate listed in Item IV.

D. Meetings

1. Meetings are not in the scope of this proposal.

II. Additional Conditions

- A. Client shall provide all existing information necessary for the completion basic services as described in this letter of agreement.
- B. Upon written request, and within a reasonable amount of time, Client shall execute and deliver, or cause to be executed and delivered, such additional instruments, documents, approvals, governmental fees, and charges which are necessary to perform the terms of the agreement.
- C. The work described in Item I shall be performed as one set of Construction Documents. Splitting the project into more than one phase of construction or more than one project may require an increase in the fee shown in Item IV.
- D. Opinions of Probable Construction Cost prepared by GATES are approximate only and do not take into account future market conditions or contractor's bidding methods. GATES has no control over costs of labor, materials or equipment and GATES estimates cannot be guaranteed.
- E. GATES is not responsible for means, methods, sequences, techniques and procedures of construction or for safety precautions associated with construction.
- F. GATES is not responsible for control or supervision of construction, errors and omissions of the construction contractor, schedule or timing of construction, or the contractor's conformance with contract documents.

III. Compensation for Services

- A. The fee for the services indicated in Item I of this proposal shall be:

A. Construction Documents

GATES	\$	5,520
BKF	\$	<u>2,830</u>
TOTAL	\$	8,350
		+ reimbursables

- B. For billing procedures, see Appendix A.

IV. Additional Services

Any extra services, including additional work or meetings, requested by the Client in addition to those indicated in this proposal shall be billed at the hourly rate listed below in addition to the fee indicated in Item III above.

<u>Services of:</u>	<u>Rate Per Hour</u>
<i>Partner</i>	\$185.00
<i>Principal</i>	\$135.00-\$155.00
<i>Associate Landscape Architect</i>	\$120.00-\$130.00
<i>Sr. Landscape Architect</i>	\$105.00-\$120.00
<i>Jr. Landscape Architect</i>	\$85.00-\$105.00
<i>Sr. Landscape Designer</i>	\$95.00-\$115.00
<i>Landscape Designer</i>	\$80.00-\$105.00
<i>Sr. Design Technician</i>	\$95.00-\$105.00
<i>Design Technician</i>	\$75.00-\$90.00
<i>Sr. Irrigation Designer</i>	\$115.00-\$125.00
<i>Irrigation Design Technician</i>	\$75.00-\$90.00
<i>Sr. Visual Communications Designer</i>	\$110.00-\$115.00
<i>Visual Communications Designer</i>	\$90.00-\$110.00
<i>Marketing Coordinator</i>	\$90.00-\$110.00
<i>Administrative Staff</i>	\$70.00-\$90.00

Note: The hourly rates shown may be revised as described in Appendix A, but would not affect the amount of compensation shown in Item III.

A. Additional services shall include but are not limited to the following:

1. Revisions to the design following commencement of the Construction Documents Phase.
2. Additional meetings to those described above.
3. Preparation of front end (boilerplate) non-technical specifications.
4. Horticultural consulting and soils analysis.
5. Revisions to the Construction Documents which result from more than one set of revision comments from the Township of Discovery Bay and Caltrans.

Accepted by:

Date: _____

Fairin Perez
Township of Discovery Bay

**APPENDIX A
 TERMS AND CONDITIONS OF AGREEMENT BETWEEN CLIENT
 AND DAVID GATES AND ASSOCIATES, INCORPORATED**

The following additional terms and conditions are appended to, and part of, the Agreement for professional services between Gates + Associates, Inc., (GATES) [California License No. 1550], a California corporation, and Township of Discovery Bay ("Client"), dated *December 19, 2011*.

1. GATES will provide the Scope of Services as described. GATES agrees to perform the services set forth in this agreement, and Client agrees to pay for said services on the terms set forth in this agreement.
2. Additional Services not set forth in the Scope of Services include, but are not limited to, changes in the scope or detail of the work made at the request of Client; services made necessary by unforeseen conditions not disclosed to GATES at the time of entering into this agreement; and any other service performed by GATES not reasonably within the scope of the services envisioned at the time of entering into this agreement. All additions to the scope of work shall be in writing, and executed by the Client.
3. GATES's Fees shall be as described in the Scope of Services, plus Expenses. Expenses of consultants and other direct expenses shall be paid by the Client in the amount invoiced to GATES's plus ten percent (10%) for handling and indirect costs. These may include, but are not limited to irrigation consultants; printing and reproduction costs, mileage and travel costs, and other miscellaneous expenses.
4. Additional Services, requested and authorized by the Client, shall be paid on an hourly basis at the current standard scheduled rates below. GATES's hourly rate schedule may be adjusted on January 1 and July 1 of each year and shall apply for any services rendered after that date.

<u>Services of:</u>	<u>Rate Per Hour</u>
<i>Partner</i>	<i>\$185.00</i>
<i>Principal</i>	<i>\$135.00-\$155.00</i>
<i>Associate Landscape Architect</i>	<i>\$120.00-\$130.00</i>
<i>Sr. Landscape Architect</i>	<i>\$105.00-\$120.00</i>
<i>Jr. Landscape Architect</i>	<i>\$85.00-\$105.00</i>
<i>Sr. Landscape Designer</i>	<i>\$95.00-\$115.00</i>
<i>Landscape Designer</i>	<i>\$80.00-\$105.00</i>
<i>Sr. Design Technician</i>	<i>\$95.00-\$105.00</i>
<i>Design Technician</i>	<i>\$75.00-\$90.00</i>
<i>Sr. Irrigation Designer</i>	<i>\$115.00-\$125.00</i>
<i>Irrigation Design Technician</i>	<i>\$75.00-\$90.00</i>
<i>Sr. Visual Communications Designer</i>	<i>\$110.00-\$115.00</i>
<i>Visual Communications Designer</i>	<i>\$90.00-\$110.00</i>
<i>Marketing Coordinator</i>	<i>\$90.00-\$110.00</i>
<i>Administrative Staff</i>	<i>\$70.00-\$90.00</i>

5. Invoices for Services and Reimbursables shall be provided by GATES each month and are payable upon receipt. You agree to review the invoice and ask any questions of GATES within ten (10) days of receipt. If we do not hear from you, the invoice shall be deemed proper and acceptable. If your balance is not paid within thirty (30) days from receipt, the unpaid balance will accrue interest at ten percent (10%) per annum compounded daily until paid in full.
6. GATES reserves the right to suspend work in the event invoices are past due. GATES may recommence work when full payment is received, including collection costs, attorney fees, and other costs, or other satisfactory arrangements are made with the Client. If a delinquency by Client occurs and GATES chooses not to suspend work, no waiver or estoppel shall be implied or inferred. Client agrees and understands that if GATES decides to so suspend its work, GATES shall not be liable for any costs or damages, including but not limited to delay and consequential damages, to the Owner, Client, or any other third party, that may arise from or be related to such a work suspension. Client agrees to hold GATES harmless from and completely indemnify GATES from

and against any and all damages, costs, attorney's fees, and/or other expenses which GATES may incur as a result of any claim by any person or entity arising out of such a suspension of work.

7. If any litigation, arbitration, or other legal action arising out of this contract ensues, the prevailing party shall be entitled to, without limitation, reasonable attorney's fees, collection expenses, expert fees, and costs.
8. This Agreement may be terminated by either Client or GATES by giving written notice at least thirty (30) days prior to the date of termination. In the event of such termination, Client shall pay GATES for Services and Reimbursable Expenses performed or incurred prior to the termination date, plus all costs and expenses directly attributable to such termination for which GATES is not otherwise compensated.
9. Plans, drawings and specifications or other writings or documents prepared or provided by GATES hereunder are prepared for specific use by the Client on this Project only. Client agrees not to use the whole or part of said plans, drawings, and specifications or other writings or documents prepared or provided by GATES for other projects or extensions to the Project or any other purpose without the express written consent of GATES. GATES shall provide Client with a reproducible set of drawings and specifications for its records. Client further agrees to hold GATES harmless from and indemnify GATES from and against any and all damages, losses, costs, and/or expenses, including attorney's fees, which GATES may incur as a result of a claim by any party or entity, arising out of an unauthorized use of said plans, drawings, specifications, and/or documents.
10. Client agrees that GATES's liability for negligence to Client shall be limited to the amount paid by Client hereunder for GATES's fees for Basic Services and Additional Services.
11. This Agreement represents the entire Agreement between Client and GATES. This Agreement may be amended only by a writing signed by both Client and GATES.
12. This contract shall be governed by the laws of the State of California and shall be deemed to have been entered into in San Ramon, California, regardless of where it is physically executed. If suit or arbitration is filed to enforce this contract, the parties consent to personal jurisdiction in the courts of Contra Costa County, State of California, and waive the right to have the suit brought in, tried in, or removed to any other judicial jurisdiction.

PROFESSIONAL SERVICE AGREEMENT
TOWN OF DISCOVERY BAY COMMUNITY SERVICES DISTRICT /
GATES & ASSOCIATES

HIGHWAY 4 (EAST) PLANTING IMPROVEMENT PROJECT, DESIGN SERVICES

THIS PROFESSIONAL SERVICES AGREEMENT ("Agreement") is entered into by and between the Town of Discovery Bay, a Community Services District formed under the laws of the state of California ("District"), and Gates & Associates ("Consultant").

RECITALS

A. District has determined that it requires the following professional services from a consultant: Landscape Architecture Services for Highway 4 (East) Planting Improvement Project.

B. Consultant represents that it is willing to accept responsibility for performing such services in accordance with the terms and conditions set forth in this Agreement.

NOW, THEREFORE, for and in consideration of the mutual covenants and conditions herein contained, District and Consultant agree as follows:

AGREEMENT

1. DEFINITIONS

1.1. "Scope of Services": Such professional services as are generally set forth in Consultant's December 19, 2011 proposal which is attached hereto as Exhibit A and incorporated herein by this reference.

1.2. "Approved Fee Schedule": Such compensation rates as set forth in Consultant's December 19, 2011 fee schedule attached hereto as part of Exhibit A and incorporated herein by this reference.

1.3. "Commencement Date": January 11, 2012

1.4. "Expiration Date": 25 days from Commencement Date for Preliminary Design for Cal Trans review and all Final deliverables no later than March 21, 2012.

2. TERM

The term of this Agreement shall commence at 12:00 a.m. on the Commencement Date and shall expire at 11:59 p.m. on the Expiration Date unless extended by written agreement of the parties or terminated earlier in accordance with Section 15 ("Termination") below.

3. CONSULTANT'S SERVICES

- 3.1. Consultant shall perform the services identified in the Scope of Services. District shall have the right to request, in writing, changes in the Scope of Services. Any such changes mutually agreed upon by the parties, and any corresponding increase or decrease in compensation, shall be incorporated by written amendment to this Agreement. In no event shall the total compensation and costs payable to Consultant under this Agreement exceed the sum of Eight Thousand, Three Hundred and Fifty Dollars (\$8,350.00) plus reimbursables, unless specifically approved in advance and in writing by District.
- 3.2. Consultant shall complete all services relating to the Project no later than March 21, 2012
- 3.3. Consultant shall perform all work to the highest professional standards of Consultant's profession and in a manner reasonably satisfactory to District. Consultant shall comply with all applicable federal, state and local laws and regulations, including the conflict of interest provisions of Government Code Section 1090 and the Political Reform Act (Government Code Section 81000 et seq.).
- 3.4. Consultant represents that it has, or will secure at its own expense, all personnel required to perform the services identified in the Scope of Services. All such services shall be performed by Consultant or under its supervision, and all personnel engaged in the work shall be qualified to perform such services. The District Board of Directors shall be Consultant's project administrators and shall have direct responsibility for management and coordination of Consultant's performance under this Agreement. District shall not direct, control or supervise Consultant's employees or sub-consultants in the performance of the Scope of Work set forth in this Agreement.
- 3.5. Consultant shall provide progress copies of drawings, reports, specifications and other necessary information to the District and other engineers for coordination and review.
- 3.6. Consultant shall strictly observe and comply with applicable laws, ordinances, rules, regulations, and lawful orders of public authorities bearing on the safety of persons or properties or their protection from damage, injury, or loss. Without limiting the foregoing, Consultant shall comply with all requirements, regulations, orders, and directives promulgated under the Federal Occupational Safety and Health Act, the California Occupational Safety and Health Act, and the California Safe Drinking Water and Toxic Enforcement Act of 1988.

4. COMPENSATION

- 4.1. District agrees to compensate Consultant for the services provided under this Agreement, and Consultant agrees to accept in full satisfaction for such services, payment in accordance with the Approved Fee Schedule.
- 4.2. Consultant shall submit to District an invoice, on a monthly basis or less frequently, for the services performed pursuant to this Agreement. Each invoice shall itemize the services rendered during the billing period and the amount due. Within ten business days of receipt of each invoice, District shall notify Consultant in writing of any disputed amounts included on the invoice. Within forty-five (45) calendar days of receipt of each invoice, District shall pay all undisputed amounts included on the invoice. District shall not withhold applicable taxes or other authorized deductions from payments made to Consultant.
- 4.3. Additional services requested by District and not included in the Scope of Services may be required by the District. Such additional services shall be performed only in accordance with Change Orders, authorized and issued by District or District's designated representative. Each Change Order shall list the scope of services to be performed, state the time within which the work is to be completed, and designate any special conditions. Payments for any additional services requested by District shall be made to Consultant by District on a time and materials basis using the Approved Fee Schedule, unless otherwise stated in the Change Order.

5. OWNERSHIP OF WRITTEN PRODUCTS

- 5.1. All reports, documents or other written material ("written products") developed by Consultant in the performance of this Agreement shall be and remain the property of District without restriction or limitation upon its use or dissemination by District. Consultant may take and retain copies of such written products as desired, but no such written products shall be the subject of a copyright application by Consultant. District shall indemnify Consultant from any liability arising from use of documents not in connection with the Scope of Services identified in this agreement.

6. RELATIONSHIP OF PARTIES

- 6.1. Consultant is, and shall at all times remain as to District, a wholly independent contractor. Consultant shall have no power to incur any debt, obligation, or liability on behalf of District or otherwise to act on behalf of District as an agent. Neither District nor any of its agents shall have control over the conduct of Consultant or any of Consultant's employees, except as set forth in this Agreement. Consultant shall not represent that it is, or that any of its agents or employees are, in any manner employees of District. Consultant is not entitled to the rights or benefits afforded District employees, including, but not limited to, disability, unemployment or other insurance, or workers' compensation.

7. CONFIDENTIALITY

7.1. All data, documents, discussion, or other information developed or received by Consultant or provided for performance of this Agreement are deemed confidential and shall not be disclosed by Consultant without prior written consent by District. District shall grant such consent if disclosure is legally required. Upon request, all District data shall be returned to District upon the termination or expiration of this Agreement.

8. INDEMNIFICATION

8.1. To the fullest extent permitted by law, Consultant shall indemnify, hold harmless and defend District, its officers, agents, employees and volunteers from and against any and all claims and losses, costs or expenses for any damage due to death or injury to any person and injury to any property to the extent caused by any alleged intentional, reckless, negligent, or otherwise wrongful acts, errors or omissions of Consultant or any of its officers, employees, servants, agents, or subcontractors in the performance of this Agreement. Such costs and expenses shall include reasonable attorneys' fees incurred by counsel of District's choice.

8.2. District shall have the right to offset against the amount of any compensation due Consultant under this Agreement any amount due District from Consultant as a result of Consultant's failure to pay District promptly any indemnification arising under this Section 8 and related to Consultant's failure to either (i) pay taxes on amounts received pursuant to this Agreement or (ii) comply with applicable workers' compensation laws.

8.3. The obligations of Consultant under this Section 8 will not be limited by the provisions of any workers' compensation act or similar act. Consultant expressly waives any statutory immunity under such statutes or laws as to District, its officers, agents, employees and volunteers.

8.4. Consultant agrees to obtain executed indemnity agreements with provisions identical to those set forth here in this Section 8 from each and every subcontractor or any other person or entity involved by, for, with or on behalf of Consultant in the performance of this Agreement. In the event Consultant fails to obtain such indemnity obligations from others as required herein, Consultant agrees to be fully responsible and indemnify, hold harmless and defend District, its officers, agents, employees and volunteers from and against any and all claims and losses, costs or expenses for any damage due to death or injury to any person and injury to any property to the extent caused by any alleged intentional, reckless, negligent, or otherwise wrongful acts, errors or omissions of Consultant's subcontractors or any other person or entity involved by, for, with or on behalf of Consultant in the performance of this Agreement. Such costs and expenses shall include reasonable attorneys' fees incurred by counsel of District's choice.

8.5. District does not, and shall not; waive any rights that it may possess against Consultant because of the acceptance by District, or the deposit with District, of any insurance policy or certificate required pursuant to this Agreement. This hold harmless and indemnification provision shall apply regardless of whether or not any insurance policies are determined to be applicable to the claim, demand, damage, liability, loss, cost or expense.

9. INSURANCE

9.1. During the term of this Agreement, Consultant shall carry, maintain, and keep in full force and effect insurance against claims for death or injuries to persons or damages to property that may arise from or in connection with Consultant's performance of this Agreement. Such insurance shall be of the types and in the amounts as set forth below:

9.1.1. Commercial General Liability Insurance with coverage limits of not less than One Million Dollars (\$1,000,000), per occurrence and in the aggregate, including products and operations hazard, contractual insurance, broad form property damage independent consultants, personal injury, underground hazard, and explosion and collapse hazard where applicable.

9.1.2. Automobile Liability Insurance for vehicles used in connection with the performance of this Agreement with minimum limits of One Million Dollars (\$1,000,000) per accident for bodily injury and property damage.

9.1.3. Worker's Compensation insurance as required by the laws of the State of California.

9.1.4. Professional Liability Insurance with a minimum limit of One Million Dollars (\$1,000,000) per occurrence.

9.2. Consultant shall require each of its subcontractors to maintain insurance coverage that meets all of the requirements of this Agreement.

9.3. The policy or policies required by this Agreement shall be issued by an insurer admitted in the State of California and with a rating of at least A: VII in the latest edition of Best's Insurance Guide.

9.4. Consultant agrees that if it does not keep the aforesaid insurance in full force and effect, District may either (i) immediately terminate this Agreement; or (ii) take out the necessary insurance and pay, at Consultant's expense, the premium thereon.

9.5. At all times during the term of this Agreement, Consultant shall maintain on file with District a certificate or certificates of insurance showing that the aforesaid policies are in effect in the required amounts and naming the District and its officers, employees, agents and volunteers as additional insureds under Commercial General Liability. Consultant shall, prior to commencement of work under this Agreement, file with District such certificate(s).

- 9.6. Consultant shall provide proof that policies of insurance required herein expiring during the term of this Agreement have been renewed or replaced with other policies providing at least the same coverage. Such proof will be furnished at least two weeks prior to the expiration of the coverages.
- 9.7. The general liability and automobile policies of insurance required by this Agreement shall contain an endorsement naming District and its officers, employees, agents and volunteers as additional insureds. All of the policies required under this Agreement shall contain an endorsement providing that the policies cannot be canceled or reduced except on thirty days' prior written notice to District.
- 9.8. Commercial General Liability insurance provided by Consultant shall be primary to any coverage available to District. Any insurance or self-insurance maintained by District and/or its officers, employees, agents or volunteers shall be in excess of Consultant's insurance and shall not contribute with it.
- 9.9. All insurance coverage provided pursuant to this Agreement shall not prohibit Consultant, and Consultant's employees, agents or subcontractors, from waiving the right of subrogation prior to a loss. Consultant hereby waives all rights of subrogation against the District.
- 9.10. Any deductibles or self-insured retentions must be declared to and approved by the District. At the option of District, Consultant shall either reduce or eliminate the deductibles or self-insured retentions with respect to District, or Consultant shall procure a bond guaranteeing payment of losses and expenses.
- 9.11. Procurement of insurance by Consultant shall not be construed as a limitation of Consultant's liability or as full performance of Consultant's duties to indemnify, hold harmless and defend under Section 8 of this Agreement.

10. MUTUAL COOPERATION

- 10.1. District shall provide Consultant with all pertinent data, documents and other requested information as is reasonably available for the proper performance of Consultant's services under this Agreement.
- 10.2. In the event any claim or action is brought against District relating to Consultant's performance in connection with this Agreement, Consultant shall render any reasonable assistance that District may require.

11. RECORDS AND INSPECTIONS

11.1. Consultant shall maintain full and accurate records with respect to all matters covered under this Agreement for a period of three years after the expiration or termination of this Agreement. District shall have the right to access and examine such records, without charge, during normal business hours. District shall further have the right to audit such records, to make transcripts there from and to inspect all program data, documents, proceedings, and activities.

12. NOTICES

12.1. Any notices, bills, invoices, or reports required by this Agreement shall be deemed received on: (i) the day of delivery if delivered by hand, facsimile or overnight courier service during Consultant's and District's regular business hours; or (ii) on the fifth business day following deposit in the United States mail if delivered by mail, postage prepaid, to the addresses listed below (or to such other addresses as the parties may, from time to time, designate in writing).

If to District:

Town of Discovery Bay CSD
1800 Willow Lake Road
Discovery Bay, CA 94505
Telephone: (925) 634-1131
Facsimile: (925) 513-2705

With courtesy copy to:

Dan Schroeder, Attorney for Town of Discovery Bay CSD
Neumiller & Beardslee
P.O. Box 20
Stockton, CA 95201
Telephone: (209) 948-8200

If to Consultant:

Gates & Associates
2671 Crow Canyon Road
San Ramon, CA 94583
Telephone: (925) 736.8176
Facsimile: (925) 838.8901

13. SURVIVING COVENANTS

13.1. To the extent required by applicable law, the parties agree that the covenants contained in Section 7, Section 8, Paragraph 10.2 and Section 11 of this Agreement shall survive the expiration or termination of this Agreement.

14. TERMINATION

14.1. District shall have the right to terminate this Agreement for any reason on five calendar days' written notice to Consultant. Consultant shall have the right to terminate this Agreement for any reason on thirty (30) calendar days' written notice to District. Consultant agrees to cease all work under this Agreement on or before the effective date of any notice of termination. All District data, documents, objects, materials or other tangible things shall be returned to District upon the termination or expiration of this Agreement.

14.2. If District terminates this Agreement due to no fault or failure of performance by Consultant, then Consultant shall be paid based on the work satisfactorily performed at the time of termination. In no event shall Consultant be entitled to receive more than the amount that would be paid to Consultant for the full performance of the services required by this Agreement.

15. GENERAL PROVISIONS

15.1. Consultant shall not delegate, transfer, subcontract or assign its duties or rights hereunder, either in whole or in part, without District's prior written consent, and any attempt to do so shall be void and of no effect. District shall not be obligated or liable under this Agreement to any party other than Consultant.

15.2. In the performance of this Agreement, Consultant shall not discriminate against any employee, subcontractor, or applicant for employment because of race, color, creed, religion, sex, marital status, sexual orientation, national origin, ancestry, age, physical or mental disability or medical condition.

15.3. Consultant agrees to comply with the regulations of District's "Conflict of Interest Code." Said Code is in accordance with the requirements of the Political Reform Act of 1974.

Consultant covenants that it presently has no interest, and shall not have any interest, direct or indirect, which would conflict in any manner with the performance of service required hereunder. The term "conflict" shall include, as a minimum, the definition of a "conflict of interest" under the California Fair Political Practices Act and the Town of Discovery Bay Conflict of Interest Code, as that term is applied to consultants.

- 15.4. The captions appearing at the commencement of the sections hereof, and in any paragraph thereof, are descriptive only and for convenience in reference to this Agreement. Should there be any conflict between such heading, and the section or paragraph thereof at the head of which it appears, the section or paragraph thereof, as the case may be, and not such heading, shall control and govern in the construction of this Agreement. Masculine or feminine pronouns shall be substituted for the neuter form and vice versa, and the plural shall be substituted for the singular form and vice versa, in any place or places herein in which the context requires such substitution(s).
- 15.5. The waiver by District or Consultant of any breach of any term, covenant or condition herein contained shall not be deemed to be a waiver of such term, covenant or condition or of any subsequent breach of the same or any other term, covenant or condition herein contained. No term, covenant or condition of this Agreement shall be deemed to have been waived by District or Consultant unless in writing.
- 15.6. Consultant shall not be liable for any failure to perform if Consultant presents acceptable evidence, in District's sole judgment that such failure was due to causes beyond the control and without the fault or negligence of Consultant.
- 15.7. Each right, power and remedy provided for herein or hereafter existing at law, in equity, by statute, or otherwise shall be cumulative and shall be in addition to every other right, power, or remedy provided for herein or now or hereafter existing at law, in equity, by statute, or otherwise. The exercise, the commencement of the exercise, or the forbearance of the exercise by any party of any one or more of such rights, powers or remedies shall not preclude the simultaneous or later exercise by such party of any of all of such other rights, powers or remedies. In the event legal action shall be necessary to enforce any term, covenant or condition herein contained, the party prevailing in such action, whether reduced to judgment or not, shall be entitled to its reasonable court costs, including accountants' fees, if any, and attorneys' fees expended in such action. The venue for any litigation shall be Contra Costa County, California.
- 15.8. If any term or provision of this Agreement or the application thereof to any person or circumstance shall, to any extent, be invalid or unenforceable, then such term or provision shall be amended to, and solely to, the extent necessary to cure such invalidity or unenforceability, and in its amended form shall be enforceable. In such event, the remainder of this Agreement, or the application of such term or provision to persons or circumstances other than those as to which it is held invalid or unenforceable, shall not be affected thereby, and each term and provision of this Agreement shall be valid and be enforced to the fullest extent permitted by law.
- 15.9. This Agreement shall be governed and construed in accordance with the laws of the State of California.

15.10. All documents referenced as exhibits in this Agreement are hereby incorporated into this Agreement. In the event of any material discrepancy between the express provisions of this Agreement and the provisions of any document incorporated herein by reference, the provisions of this Agreement shall prevail. This instrument contains the entire Agreement between District and Consultant with respect to the transactions contemplated herein. No other prior oral or written agreements are binding upon the parties. Amendments hereto or deviations herefrom shall be effective and binding only if made in writing and executed by District and Consultant.

TO EFFECTUATE THIS AGREEMENT, the parties have caused their duly authorized representatives to execute this Agreement on the dates set forth below.

Signatures contained on next page

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DRAFT

“District”
Town of Discovery Bay CSD

“Consultant”
Gates & Associates

By: _____
Richard Howard, General Manager

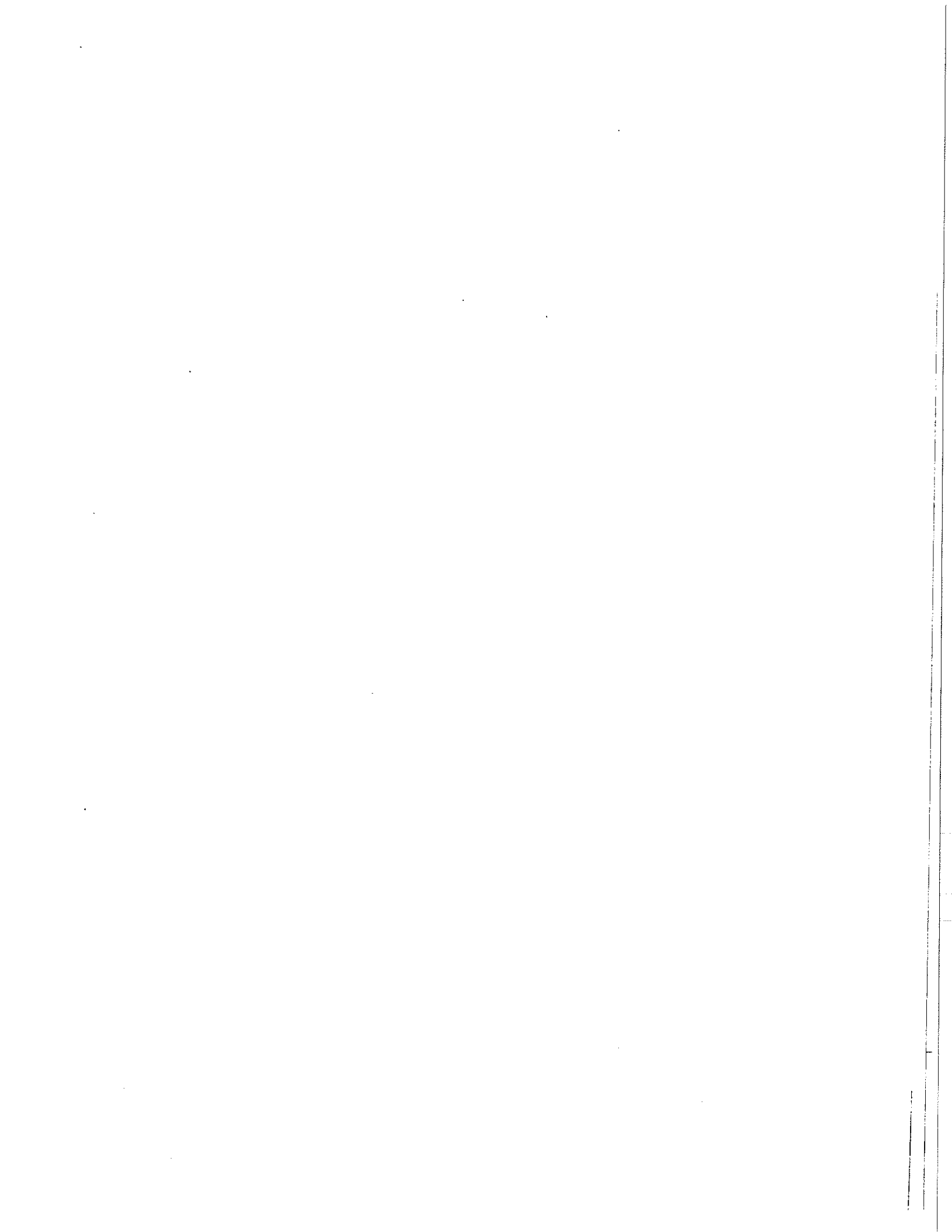
By: _____

Date: _____, 2012

Print Name: _____

Date: _____, 2012

DRAFT





Town of Discovery Bay

"A Community Services District"

AGENDA REPORT

Meeting Date

January 4, 2012

Prepared By: Rick Howard, General Manager

Submitted By: Rick Howard, General Manager *RH*

Agenda Title

Agency Comment Request – Development Plan Modification - Sandy Cove Shopping Center/CHASE Bank (DP11-3031)

Recommended Action

Review applicants' submittal to the Contra Costa County Department of Conservation and Development and comment as necessary.

Executive Summary

The Contra Costa County Department of Conservation and Development has requested Board input into a proposed CHASE Bank drive-up ATM kiosk and canopy resulting in a Development Plan modification. The location of the ATM kiosk and canopy will be in the parking lot between the Safeway Gas Station and CHASE Bank (see attached site plan). Site modifications include the removal of eight (8) parking spaces and two (2) trees.

The Contra Costa County Department of Conservation and Development is seeking Board input into these proposed modifications.

Fiscal Impact:

Amount Requested \$

Sufficient Budgeted Funds Available?: (If no, see attached fiscal analysis)

Prog/Fund # Category: Pers. Optg. Cap. -or- CIP# Fund#

Previous Relevant Board Actions for This Item

N/A

Attachments

Agency Comment Request and Site Plan

AGENDA ITEM: G-6

CONTRA COSTA COUNTY
 DEPARTMENT OF CONSERVATION AND DEVELOPMENT
 COMMUNITY DEVELOPMENT DIVISION
 651 Pine Street, 4th Floor, North Wing
 Martinez, CA 94553-0095
 Phone: 925-335-1210
 Fax: 925-335-1222

Town of Discovery Bay CSD
 Received
 NOV 22 2011



Son
 11-21-11
 5

AGENCY COMMENT REQUEST

Date 11/17/11

We request your comments regarding the attached application currently under review.

DISTRIBUTION

Building Inspection Grading Inspection

HSD, Environmental Health, Concord

HSD, Hazardous Materials

PW - Flood Control (Full Size)

PW - Engineering Svcs (Full Size)

Date Forwarded _____

PW Traffic (Reduced)

PW Special Districts (Reduced)

PW—APC Floodplain Tech (2nd Floor)

Advance Planning

Redevelopment Agency/Housing

Historical Resources Information System

CA Native American Heritage Comm.

CA Fish & Game, Region # _____

U.S. Fish & Wildlife Service

Fire District EAST CC COUNTY

Sanitary District _____

Water District _____

City of _____

School District _____

East Bay Regional Park District

MAC/TAC _____

Diablo Discovery Bay CSD

DOIT - Deputy Director, Communications

CDD-GIS

LAFCO

East CCC Habitat Conservancy (HCP/NCCP)

County Geologist

Airport Land Use Commission Staff (ALUC)

Community Organizations:

Please submit your comments as follows:

Project Planner Gary Kupp

Phone # (925) 335-1230

E-mail gary.kupp@dcd.cccounty.us

County File # DP11-3031

Prior to DEC. 12, 2011

We have found the following special programs apply to this application:

Redevelopment Area

Active Fault Zone

Flood Hazard Area, Panel # A

60 dBA Noise Control

CA EPA Hazardous Waste Site

Mineral Rights Holder:

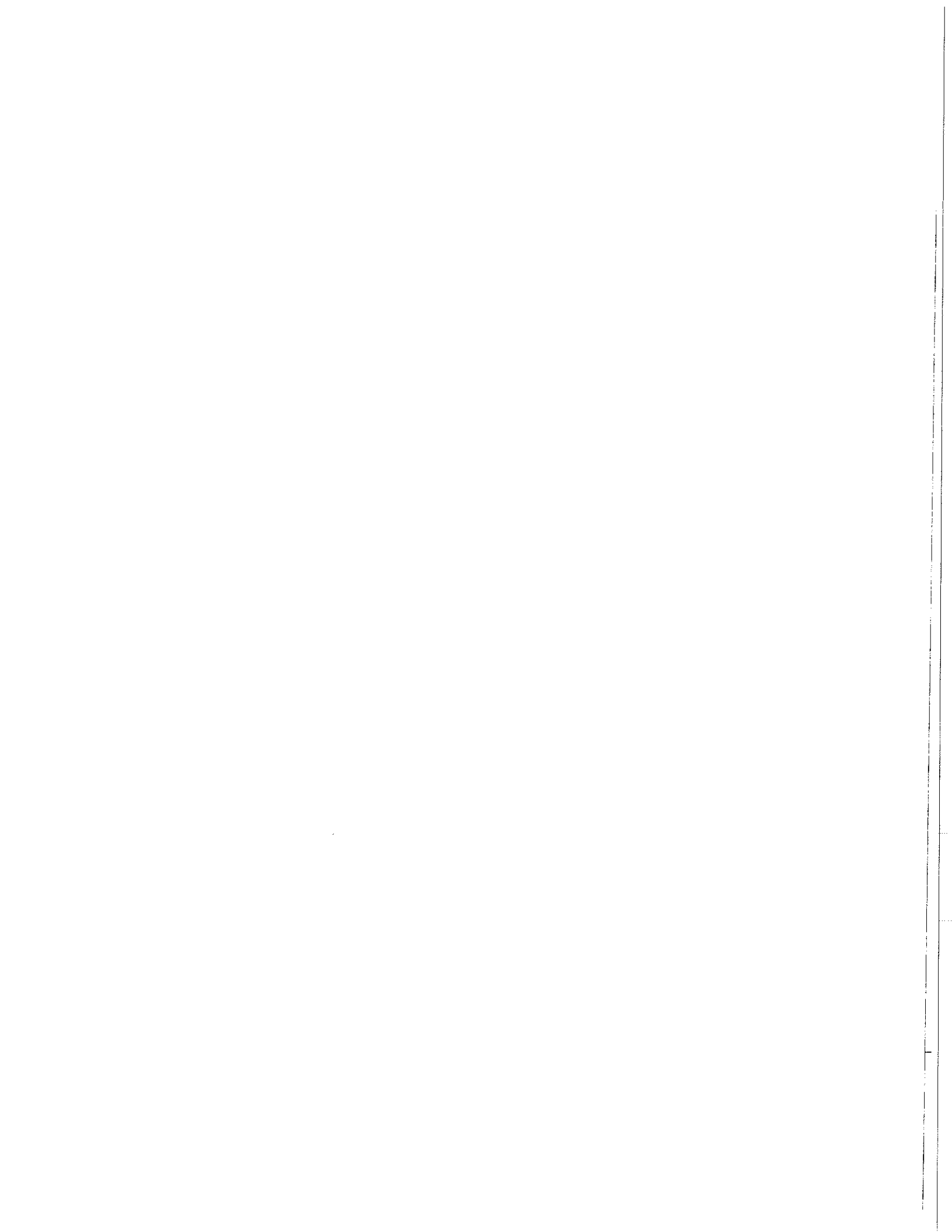
AGENCY: Please indicate the code section of recommendations required by law or ordinance. Send copies of your response to the Applicant & Owner.

Comments: None Below Attached

Print Name _____

Signature _____ DATE _____

Agency phone # _____



**CONTRA COSTA COUNTY DEPARTMENT OF CONSERVATION & DEVELOPMENT
COMMUNITY DEVELOPMENT DIVISION**

APPLICATION

TO BE COMPLETED BY APPLICANT/OWNER

OWNER Pacific/Bowie-Tracy II
 Name/o Pacific Development Group II
 Address One Corporate Plaza
 City, State Newport Beach, CA
 Phone 949.760.8591 Zip 92658


APPLICANT
 Name Andy McCloud-Interbrand Design Forum
 Address 7575 Paragon Road
 City, State Dayton, OH
 Phone 937.312.8974 Zip 45459

By signing below, owner agrees to pay all costs, including any accrued interest, if costs not paid by the applicant.

By signing below, the applicant agrees to pay all costs for processing this application, plus any accrued interest, if costs not paid within 30 days of invoicing.

Check here if billings are to be sent to applicant rather than owner.

Owner's Signature 

Applicant's Signature 

CONTACT PERSON (optional)
 Name Shawn Benson-CaliChi Design Group
 Address 3540 N. Janssen Ave. #1N
 City, State Chicago, IL
 Phone 773.904.8399 Zip 60657
 Email: sbenson@calichi.com

PROJECT DATA
 Total Parcel Size 1.84 acres
 Number of Units N/A
 Estimated Project Value \$250,000
 Comm./Ind. Sq. Footage N/A

APPLICATION TYPE
 Development Plan
 Land Use Permit
 DP/LUP Combo
 Other

Nature of Request: (Attach supplemental statement if necessary)
 Chase Bank Remote ATM Drive-Through, ATM machine & canopy Approval

OFFICE USE ONLY

Application Description: MODIFICATION TO COUNTY FILE #DP01-3032 FOR THE CONSTRUCTION OF 1 DRIVE-THRU ATM WITH ASSOCIATED SIGNAGE. PROJECT ALSO INCLUDES REMOVAL OF 2 TREES AND WORK WITHIN PIPELINES OF 3 OTHERS, AND
 Property Description: REMOVAL OF 8 PARKING SPACES, LOT 2 OF TRACT 8456

Ordinance Ref. _____	Type of Fee:	FEE AMOUNT:	S-CODE	Assessor's No. <u>011-470-002</u>
Area <u>DISCO. BAY</u>	*Base Fee/Deposit	\$ <u>3000</u>	S-	Site Address <u>Hwy 4 @ BIXLER RD.</u>
Fire Dist. <u>EAST COUNTY</u>	*Late Filing Penalty (if applicable - 50% of above)	\$ _____	S-066	Zoning District <u>P-1 / Flood A</u>
Sphere of Influence _____	# Units _____ x 195 (Development Plan)	\$ _____	S-014	Census Tract <u>3040.00</u>
Panel No. _____	Sq. Ft. x .20	\$ _____	S-014	Atlas Page <u>P-28</u>
x-ref Files <u>DP01-3032</u>	½ % value over \$100,00 (of est. Project value LUP)	\$ _____	S-029	General Plan <u>CO</u>
Concurrent Files: <u>DP11-3019</u>	Notification Fee	\$ <u>30.00</u>	S-052B	Supervisory Dist. <u>3</u>
	#Addresses x \$1.50 + \$30	\$ _____	S-048	Rec'd by <u>G. LUP</u>
	Fish & Game Posting (if not CEQA exempt)	\$ <u>75.00</u>	5884	Date Filed <u>11/16/2011</u>
	Environmental Health	\$ <u>47.00</u>		
	Other	\$ _____		
	TOTAL	\$ <u>3152</u>		File Number <u>DP11-3031</u>
	Receipt # <u>CD11-002229</u>			
	Other	\$ _____		

* ADDITIONAL FEES BASED ON TIME AND MATERIALS WILL BE CHARGED AFTER STAFF COSTS EXCEED BASE FEE

SUBMITTING YOUR APPLICATION

1. PREPARE a plot (site) plan, floor plans and building elevations clearly and legibly drawn to a commonly used scale with the following information, and verify (by initialing) that the information is included on the plans:

Applicant's
Initials

Plot (site) Plan

- a. All existing property lines labeled and fully dimensioned.
 b. All public and private roads; easements and drainage installations adjacent to the subject parcel(s).
 c. All existing and proposed improvements (including drainage) with distances to all property lines.
 d. Distance from property lines to existing improvements on parcels adjoining the subject parcel(s).
 e. Names of adjoining property owner(s).
 f. Topographic contours labeled with elevation, known geologic hazards, creeks/streams and drainage ditches.
 g. Location, species, drip lines and trunk diameters of all trees with a diameter of 6 inches or greater, measured 4½ feet above ground whose trunks lie within 50 feet of any proposed improvements. This shall include all such trees on the subject property as well as trees on adjoining properties whose canopy extends onto the subject property. Number the trees for identification purposes and indicate if they are to be removed or altered in any way.
 h. North arrow and scale.
 i. Existing and proposed parking layouts, driveways and landscaped areas (all fully dimensioned).
 j. Computations of lot coverage, gross floor area and landscaped areas (all indicated in square feet).
 k. Area of the subject parcel(s) officially mapped within the boundary of a Special Flood Hazard Area (if applicable).
 l. A vicinity map showing sufficient information such as streets, highways, railroad tracks, water bodies, landmarks etc. to locate the subject parcel(s).

Floor Plans

- m. All rooms, hallways and other common areas with their dimensions and use (i.e. bedroom, kitchen, etc.).
 n. Locations of doorways, stairways and landings, windows, permanent fixtures (sinks, toilets, showers, etc.) and major mechanical equipment (hot water heaters, furnaces, etc.).

Building Elevations

- o. Exterior dimensions (height, width, depth) of all proposed improvements. Height is measured at the point within the building footprint that has the greatest distance between the ground and the top of the building directly above.
 p. Proposed exterior ornamentation such as shutters, planting boxes, window trim, cornices, signs, railings, etc.
 q. Proposed exterior materials (i.e. wood siding, stucco, stone veneer, concrete tile roof, etc.).

2. HAND DELIVER (do not mail) the following to the Contra Costa County Application & Permit Center:

- r. Three (3) full size sets of plans (no larger than 24" x 36") and twelve (12) reduced sets (no larger than 11" x 17"). All sets must be folded to approximately 8½" x 11". **Rolled plans will not be accepted.**
 s. Completed application form (reverse side of this sheet).
 t. "Important Notice to Applicants" (blue form) signed and dated.
 u. *Required deposit and miscellaneous fees. Checks may be made payable to Contra Costa County.

* Please note that the fees described on this form are related only to the Contra Costa County Community Development and Public Works [(925) 313-2000] departments' costs for processing your application. Additional fees and requirements may be imposed by federal, state and local agencies that may be involved in reviewing your project. It is the applicant's responsibility to investigate whether additional fees and requirements will be imposed.

APPLICANT VERIFICATION

I verify that all of the information submitted as indicated by my initials is complete and accurate to the best of my knowledge and further acknowledge that should it be found that any of the information is incorrect or incomplete it may result in increased processing time and/or costs. I acknowledge that all staff costs are borne by the applicant and if necessary, additional deposits will be required. I also acknowledge that I have completely read this form and understand all of the information stated herein

Signature

Name (print) ANDY MENDOZA

Date 11.3.11

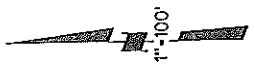
Contra Costa County Department of Conservation & Development
Community Development Division
Application & Permit Center
651 Pine Street, 2nd Floor – North Wing
Martinez, CA 94553
(925) 335-1381

- 5005456
- 2069-82 LL 02-69 ZI019021
- ZI-7856B LL 02-70 FPP 55-02
- S-90-EC LL 02-71 LP022039
- 2968-RZ LL 02-72 DP013032
- 3031-91 DP022077
- MS 39-91 DP022091
- LP022097
- 2003 ROLL-TRACT 8456 M.B. 446-43 (SANDY COVER)

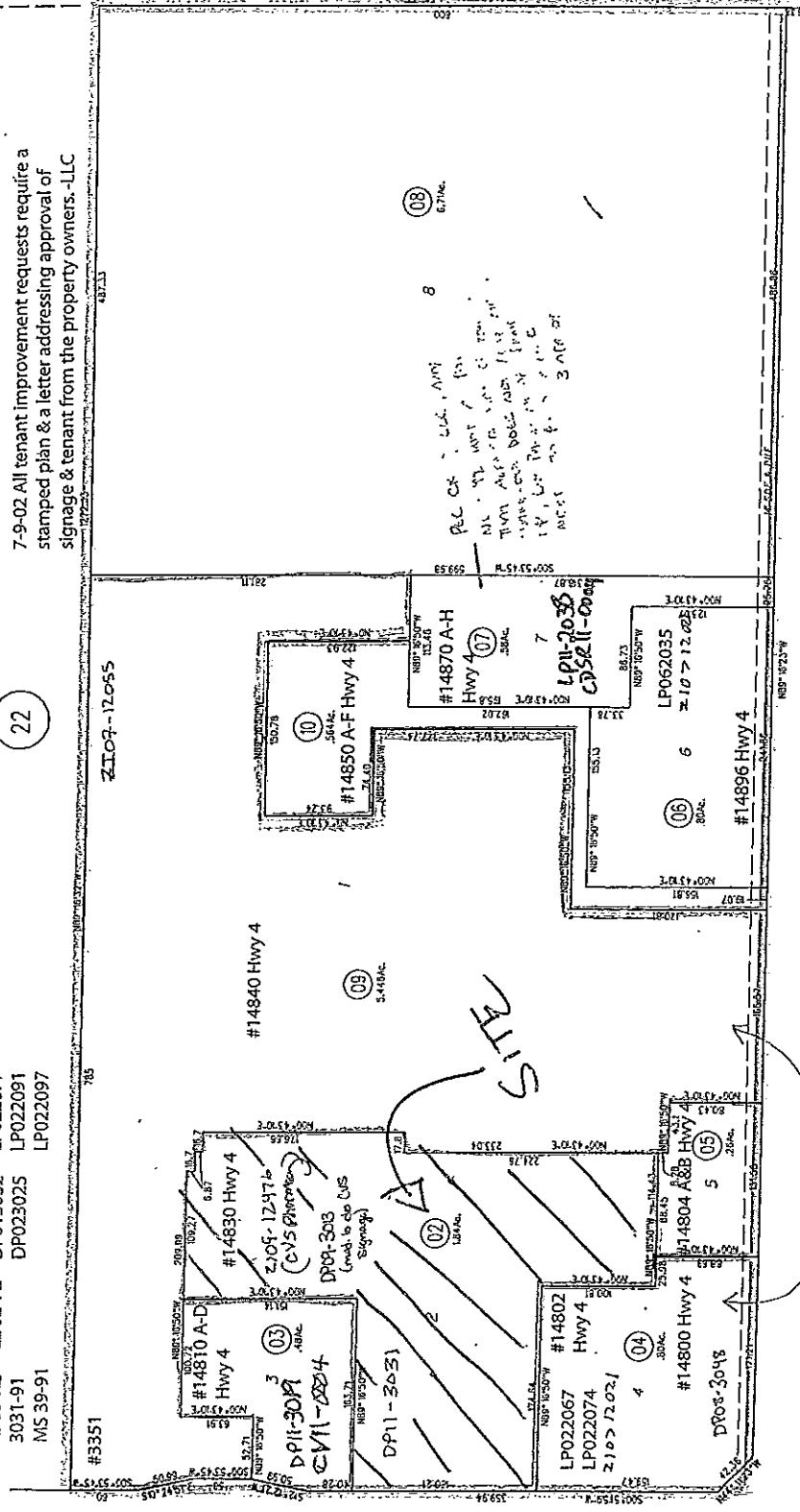
22

All takeout restaurants require the submittal & approval of use permits.-LLC (Access in addition to existing)

7-9-02 All tenant improvement requests require a stamped plan & a letter addressing approval of signage & tenant from the property owners.-LLC



BK 09



BIXLER RD

RD FEES

ZM: P-28

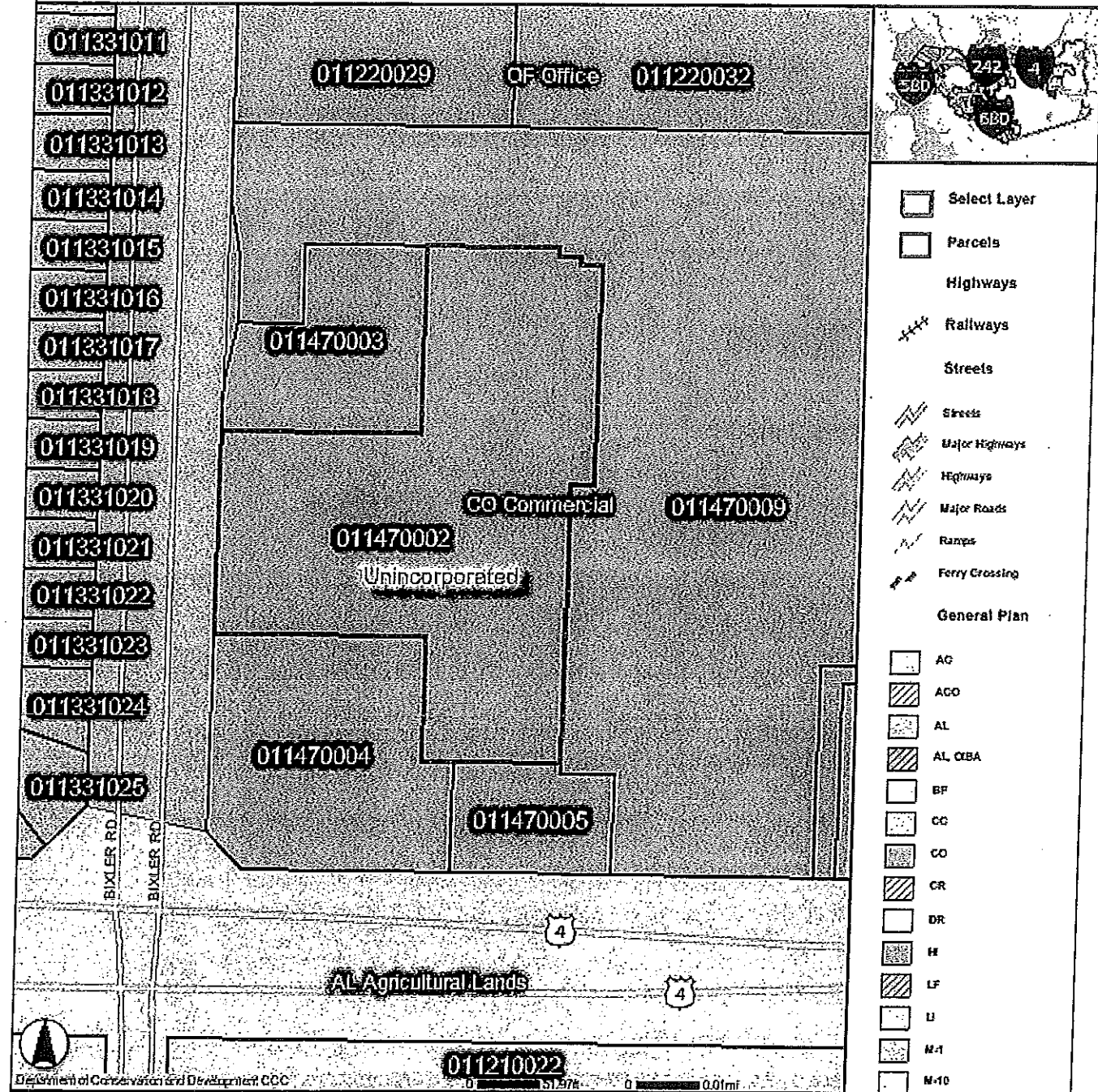
470 10 8/18/03

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ASSessor'S OFFICE MAY NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS ON BUILDING SITE CONDITIONS.

21

FM PG 22 10-29-02
 ASSESSOR'S MAP
 BOOK 11 PAGE 47
 CONTRA COSTA COUNTY, CALIF.

GENERAL PLAN (CO)

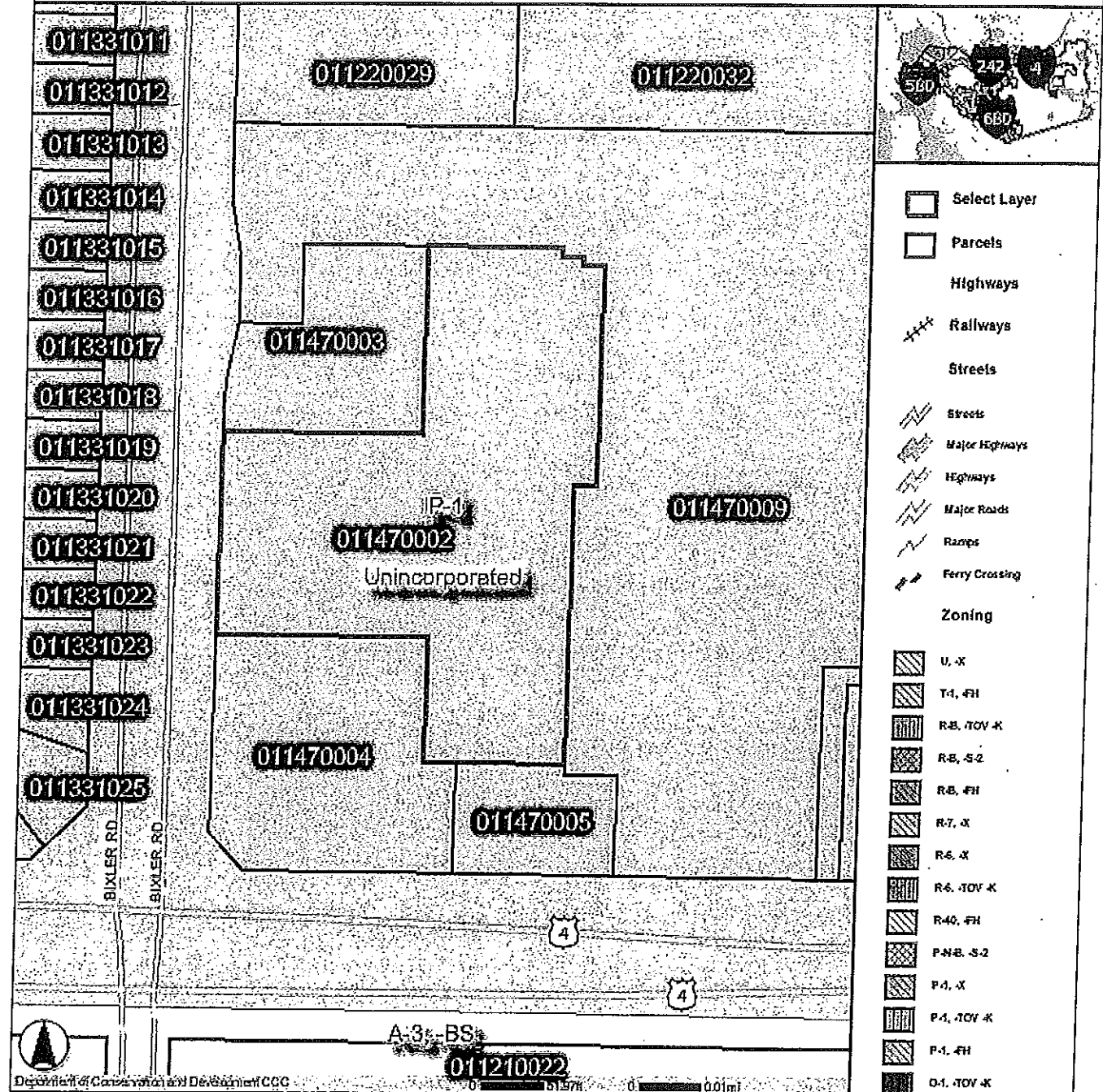


Department of Conservation and Development CCC

0 0.01mi

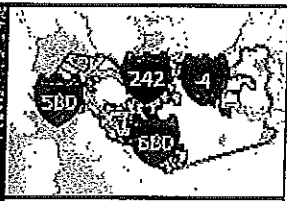
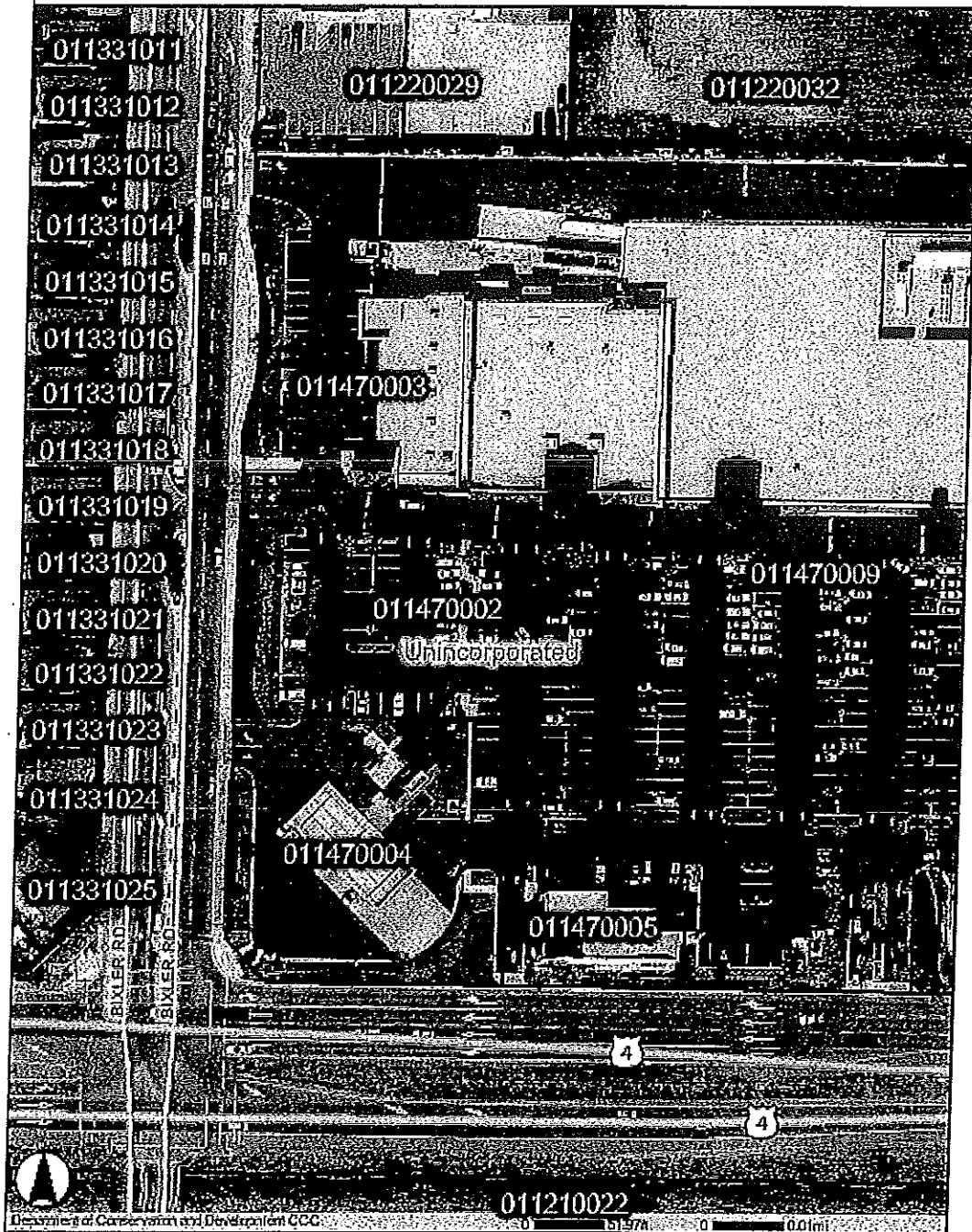
Refer to the Accela GIS Administrators Guide for instructions on how to set the disclaimer text displayed in this area.

ZONING (P-1)



Refer to the Accela GIS Administrators Guide for instructions on how to set the disclaimer text displayed in this area.

2008 AEIRAL PHOTOGRAPH



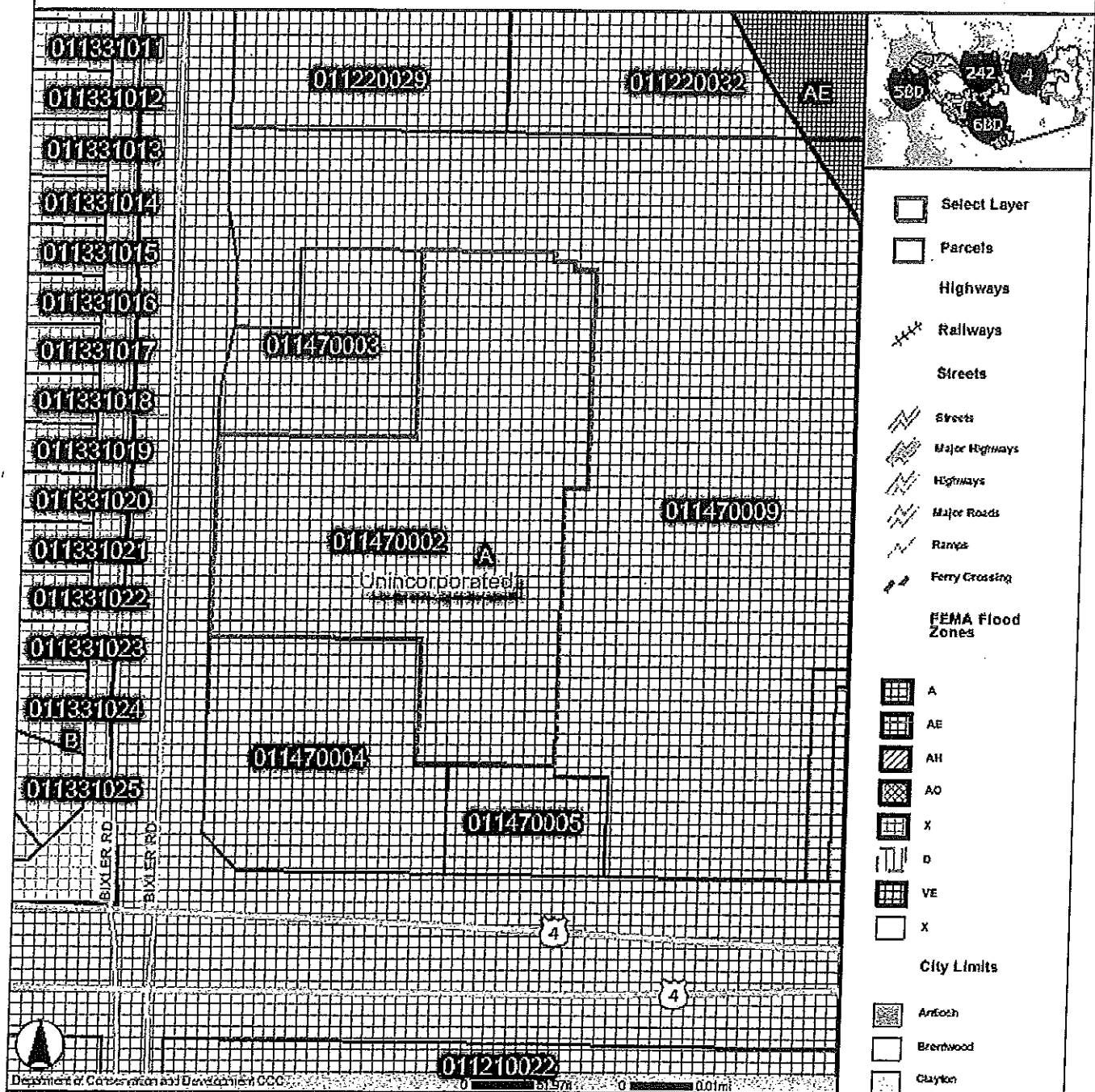
- Select Layer
- Parcels
- Highways
- +++ Railways
- Streets
- Streets
- Major Highways
- Highways
- Major Roads
- Ramps
- Ferry Crossing
- City Limits
- Antioch
- Brentwood
- Clayton
- Concord
- Danville
- El Cerrito
- Hercules
- Lafayette
- Martinez
- Moraga
- Oakley
- Orinda
- Pinole

Department of Conservation and Development CCC

0 0.0125 0.025 mi

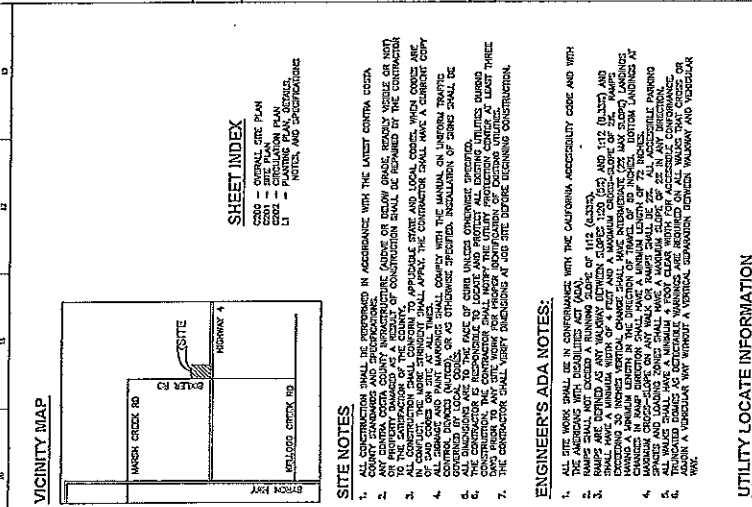
Refer to the Accela GIS Administrators Guide for instructions on how to set the disclaimer text displayed in this area.

FLOOD ZONE (A)



Department of Conservation and Development CCC

Refer to the Accela GIS Administrators Guide for instructions on how to set the disclaimer text displayed in this area.



SHEET INDEX

- 0000 - OVERALL SITE PLAN
- 0001 - CIRCULATION PLAN
- 0002 - SITE SPECIFICATIONS
- 0003 - NOTES AND CONSTRUCTIONS

SITE NOTES

1. ALL CONSTRUCTION SHALL BE REFERENCED IN ACCORDANCE WITH THE LATEST CONTRA COSTA COUNTY STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOTICES FROM THE CONTRA COSTA COUNTY ENGINEERING DIVISION AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
4. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
6. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE THROUGHOUT CONSTRUCTION.
7. THE CONTRACTOR SHALL MAINTAIN ADEQUATE EROSION CONTROL THROUGHOUT CONSTRUCTION.

ENGINEER'S ADA NOTES:

1. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CALIFORNIA ACCESSIBILITY CODE AND WITH THE AMERICAN WITH DISABILITIES ACT (ADA).
2. ALL WALKWAYS SHALL BE CONSTRUCTED WITH A MINIMUM CLEARANCE OF 115 INCHES.
3. RAMP SLOPES SHALL NOT EXCEED 1:12.
4. RAMP SLOPES SHALL NOT EXCEED 1:50.
5. RAMP SLOPES SHALL NOT EXCEED 1:50.
6. RAMP SLOPES SHALL NOT EXCEED 1:50.
7. RAMP SLOPES SHALL NOT EXCEED 1:50.
8. RAMP SLOPES SHALL NOT EXCEED 1:50.
9. RAMP SLOPES SHALL NOT EXCEED 1:50.
10. RAMP SLOPES SHALL NOT EXCEED 1:50.

UTILITY LOCATE INFORMATION



ENGINEERS NOTE TO THE CONTRACTORS:

ENGINEERS HAVE CONDUCTED VISUAL SURVEYS OF THE SITE AND ADJACENT AREAS. THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOTICES FROM THE CONTRA COSTA COUNTY ENGINEERING DIVISION AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES.

GEOTECHNICAL REPORT NOTE:

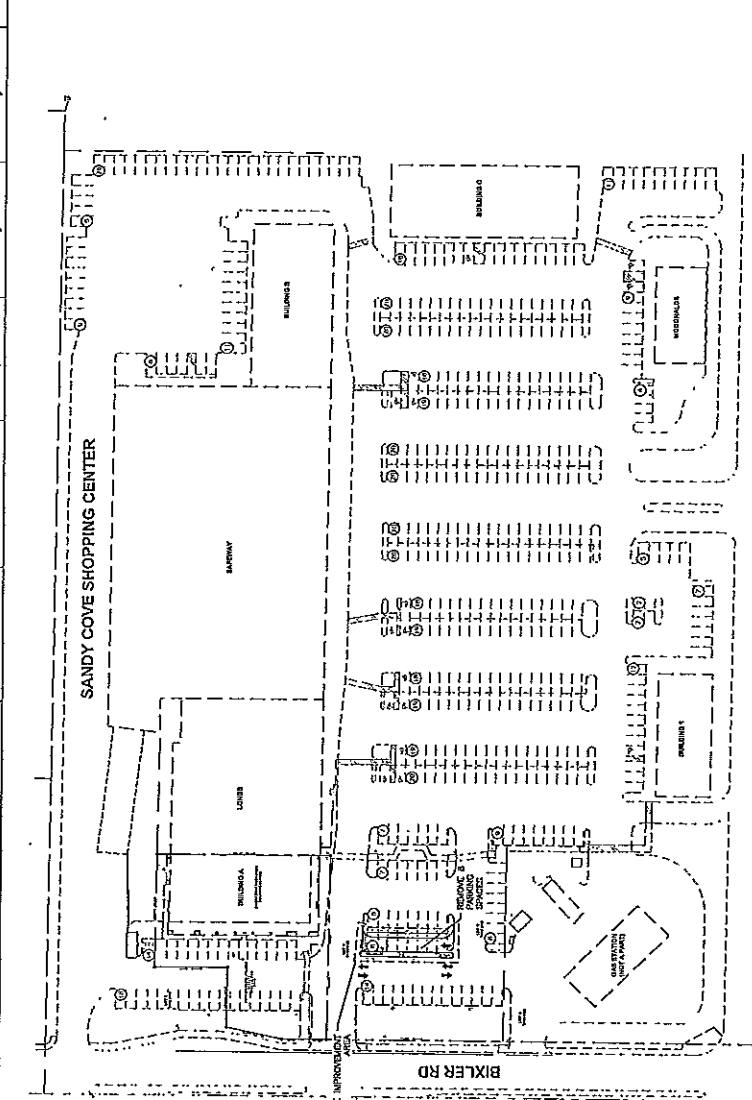
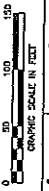
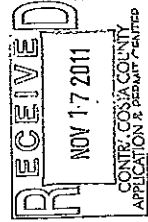
NO GEOTECHNICAL INFORMATION WAS PROVIDED AT THE TIME OF CONSTRUCTION. ADDITIONAL INFORMATION SHOULD BE PROVIDED TO THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOTICES FROM THE CONTRA COSTA COUNTY ENGINEERING DIVISION AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES.

TOPOGRAPHIC SURVEY NOTE:

NO TOPOGRAPHIC SURVEY INFORMATION WAS PROVIDED AT THE TIME OF CONSTRUCTION. ADDITIONAL INFORMATION SHOULD BE PROVIDED TO THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOTICES FROM THE CONTRA COSTA COUNTY ENGINEERING DIVISION AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES.

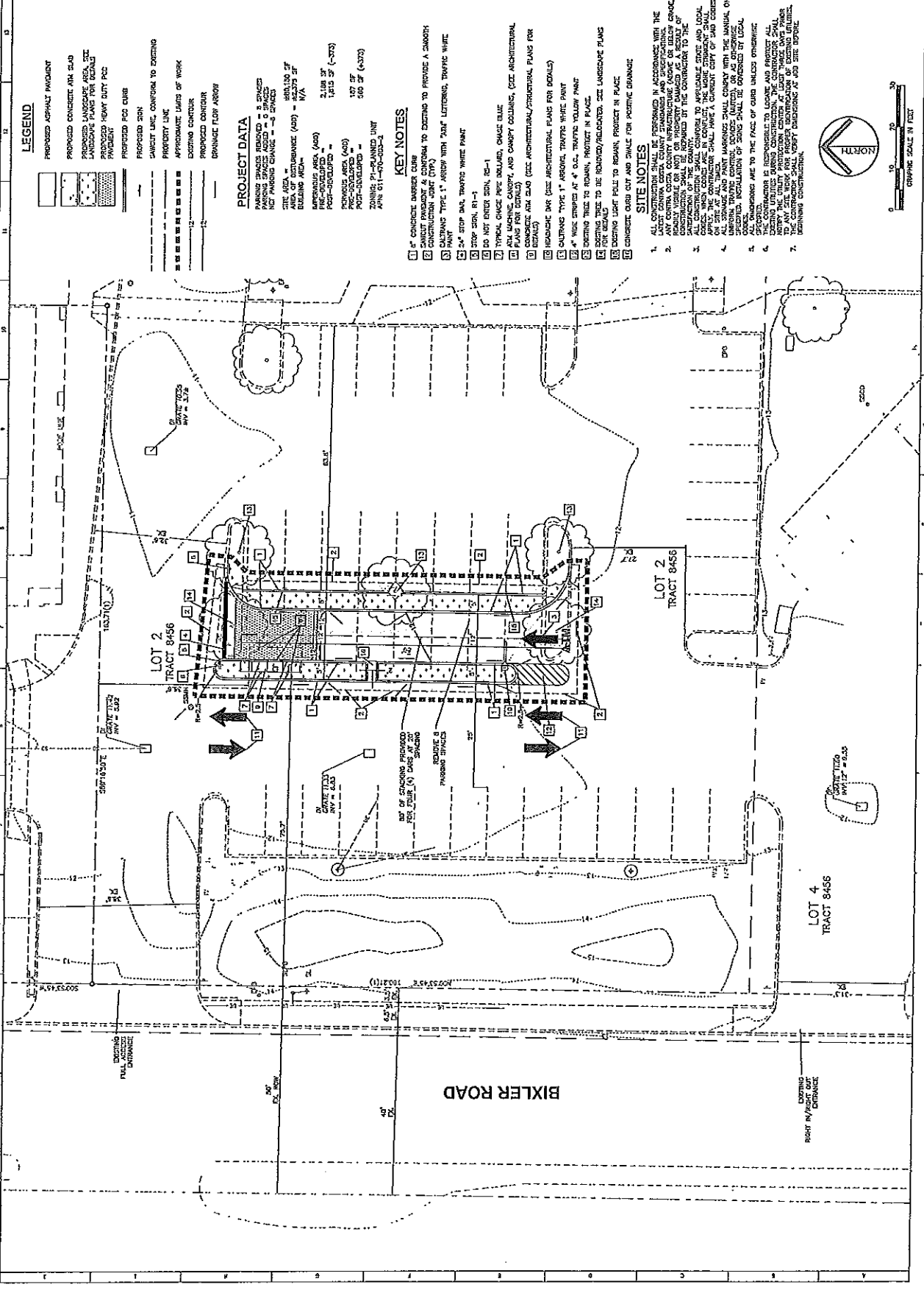
BENCHMARK:

CONTRA COSTA COUNTY ENGINEERING DIVISION HAS ESTABLISHED A BENCHMARK AT THE CORNER OF BIXLER RD AND STATE HIGHWAY 4. THE BENCHMARK IS IDENTIFIED BY A METAL PIN WITH THE FOLLOWING INFORMATION: BENCHMARK NO. 12345, ELEVATION = 100.00 (MGS 2011).



STATE HIGHWAY 4

NO.	DESCRIPTION	QUANTITY	UNIT	TOTAL	PRICE	TOTAL
1	CONCRETE	1000	YD	1000	100.00	100000.00
2	ASPHALT	5000	YD	5000	20.00	100000.00
3	GRAVEL	10000	YD	10000	10.00	100000.00
4	REINFORCEMENT	1000	LB	1000	1.00	1000.00
5	FORMWORK	1000	SQ YD	1000	10.00	10000.00
6	PAINT	1000	GA	1000	1.00	1000.00
7	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
8	CONCRETE	1000	YD	1000	100.00	100000.00
9	ASPHALT	5000	YD	5000	20.00	100000.00
10	GRAVEL	10000	YD	10000	10.00	100000.00
11	REINFORCEMENT	1000	LB	1000	1.00	1000.00
12	FORMWORK	1000	SQ YD	1000	10.00	10000.00
13	PAINT	1000	GA	1000	1.00	1000.00
14	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
15	CONCRETE	1000	YD	1000	100.00	100000.00
16	ASPHALT	5000	YD	5000	20.00	100000.00
17	GRAVEL	10000	YD	10000	10.00	100000.00
18	REINFORCEMENT	1000	LB	1000	1.00	1000.00
19	FORMWORK	1000	SQ YD	1000	10.00	10000.00
20	PAINT	1000	GA	1000	1.00	1000.00
21	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
22	CONCRETE	1000	YD	1000	100.00	100000.00
23	ASPHALT	5000	YD	5000	20.00	100000.00
24	GRAVEL	10000	YD	10000	10.00	100000.00
25	REINFORCEMENT	1000	LB	1000	1.00	1000.00
26	FORMWORK	1000	SQ YD	1000	10.00	10000.00
27	PAINT	1000	GA	1000	1.00	1000.00
28	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
29	CONCRETE	1000	YD	1000	100.00	100000.00
30	ASPHALT	5000	YD	5000	20.00	100000.00
31	GRAVEL	10000	YD	10000	10.00	100000.00
32	REINFORCEMENT	1000	LB	1000	1.00	1000.00
33	FORMWORK	1000	SQ YD	1000	10.00	10000.00
34	PAINT	1000	GA	1000	1.00	1000.00
35	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
36	CONCRETE	1000	YD	1000	100.00	100000.00
37	ASPHALT	5000	YD	5000	20.00	100000.00
38	GRAVEL	10000	YD	10000	10.00	100000.00
39	REINFORCEMENT	1000	LB	1000	1.00	1000.00
40	FORMWORK	1000	SQ YD	1000	10.00	10000.00
41	PAINT	1000	GA	1000	1.00	1000.00
42	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
43	CONCRETE	1000	YD	1000	100.00	100000.00
44	ASPHALT	5000	YD	5000	20.00	100000.00
45	GRAVEL	10000	YD	10000	10.00	100000.00
46	REINFORCEMENT	1000	LB	1000	1.00	1000.00
47	FORMWORK	1000	SQ YD	1000	10.00	10000.00
48	PAINT	1000	GA	1000	1.00	1000.00
49	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
50	CONCRETE	1000	YD	1000	100.00	100000.00
51	ASPHALT	5000	YD	5000	20.00	100000.00
52	GRAVEL	10000	YD	10000	10.00	100000.00
53	REINFORCEMENT	1000	LB	1000	1.00	1000.00
54	FORMWORK	1000	SQ YD	1000	10.00	10000.00
55	PAINT	1000	GA	1000	1.00	1000.00
56	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
57	CONCRETE	1000	YD	1000	100.00	100000.00
58	ASPHALT	5000	YD	5000	20.00	100000.00
59	GRAVEL	10000	YD	10000	10.00	100000.00
60	REINFORCEMENT	1000	LB	1000	1.00	1000.00
61	FORMWORK	1000	SQ YD	1000	10.00	10000.00
62	PAINT	1000	GA	1000	1.00	1000.00
63	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
64	CONCRETE	1000	YD	1000	100.00	100000.00
65	ASPHALT	5000	YD	5000	20.00	100000.00
66	GRAVEL	10000	YD	10000	10.00	100000.00
67	REINFORCEMENT	1000	LB	1000	1.00	1000.00
68	FORMWORK	1000	SQ YD	1000	10.00	10000.00
69	PAINT	1000	GA	1000	1.00	1000.00
70	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
71	CONCRETE	1000	YD	1000	100.00	100000.00
72	ASPHALT	5000	YD	5000	20.00	100000.00
73	GRAVEL	10000	YD	10000	10.00	100000.00
74	REINFORCEMENT	1000	LB	1000	1.00	1000.00
75	FORMWORK	1000	SQ YD	1000	10.00	10000.00
76	PAINT	1000	GA	1000	1.00	1000.00
77	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
78	CONCRETE	1000	YD	1000	100.00	100000.00
79	ASPHALT	5000	YD	5000	20.00	100000.00
80	GRAVEL	10000	YD	10000	10.00	100000.00
81	REINFORCEMENT	1000	LB	1000	1.00	1000.00
82	FORMWORK	1000	SQ YD	1000	10.00	10000.00
83	PAINT	1000	GA	1000	1.00	1000.00
84	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
85	CONCRETE	1000	YD	1000	100.00	100000.00
86	ASPHALT	5000	YD	5000	20.00	100000.00
87	GRAVEL	10000	YD	10000	10.00	100000.00
88	REINFORCEMENT	1000	LB	1000	1.00	1000.00
89	FORMWORK	1000	SQ YD	1000	10.00	10000.00
90	PAINT	1000	GA	1000	1.00	1000.00
91	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
92	CONCRETE	1000	YD	1000	100.00	100000.00
93	ASPHALT	5000	YD	5000	20.00	100000.00
94	GRAVEL	10000	YD	10000	10.00	100000.00
95	REINFORCEMENT	1000	LB	1000	1.00	1000.00
96	FORMWORK	1000	SQ YD	1000	10.00	10000.00
97	PAINT	1000	GA	1000	1.00	1000.00
98	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
99	CONCRETE	1000	YD	1000	100.00	100000.00
100	ASPHALT	5000	YD	5000	20.00	100000.00
101	GRAVEL	10000	YD	10000	10.00	100000.00
102	REINFORCEMENT	1000	LB	1000	1.00	1000.00
103	FORMWORK	1000	SQ YD	1000	10.00	10000.00
104	PAINT	1000	GA	1000	1.00	1000.00
105	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
106	CONCRETE	1000	YD	1000	100.00	100000.00
107	ASPHALT	5000	YD	5000	20.00	100000.00
108	GRAVEL	10000	YD	10000	10.00	100000.00
109	REINFORCEMENT	1000	LB	1000	1.00	1000.00
110	FORMWORK	1000	SQ YD	1000	10.00	10000.00
111	PAINT	1000	GA	1000	1.00	1000.00
112	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
113	CONCRETE	1000	YD	1000	100.00	100000.00
114	ASPHALT	5000	YD	5000	20.00	100000.00
115	GRAVEL	10000	YD	10000	10.00	100000.00
116	REINFORCEMENT	1000	LB	1000	1.00	1000.00
117	FORMWORK	1000	SQ YD	1000	10.00	10000.00
118	PAINT	1000	GA	1000	1.00	1000.00
119	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
120	CONCRETE	1000	YD	1000	100.00	100000.00
121	ASPHALT	5000	YD	5000	20.00	100000.00
122	GRAVEL	10000	YD	10000	10.00	100000.00
123	REINFORCEMENT	1000	LB	1000	1.00	1000.00
124	FORMWORK	1000	SQ YD	1000	10.00	10000.00
125	PAINT	1000	GA	1000	1.00	1000.00
126	LANDSCAPING	1000	PLANT	1000	1.00	1000.00
12						



- LEGEND**
- PROPOSED ASPHALT PAVEMENT
 - PROPOSED CONCRETE AND CURB
 - PROPOSED LANDSCAPE AREA, SEE LANDSCAPE PLANS FOR DETAILS
 - PROPOSED HEAVY DUTY PDC
 - PROPOSED PDC CURB
 - PROPOSED SIGN
 - SAUCUT LINE, CONFORM TO DRAWING
 - PROPERTY LINE
 - APPROXIMATE LIMITS OF WORK
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - DRAINAGE FLOW ARROW

PROJECT DATA

PARKING SPACES PROVIDED = 5 SPACES
 PDC CURB = 3 SPACES
 NET PARKING CHANGE = - 2 SPACES

SITE AREA = 400,100 SF
 BUILDING FOOTPRINT = 25,279 SF
 BUILDING FOOTPRINT COEFFICIENT = 6.32%

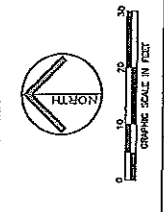
PERMITTED BY: (100)
 PRE-DEVELOPED = (100)
 POST-DEVELOPED = (100)
 PERMITTED AREA (AOD) = 2,108 SF
 POST-DEVELOPED = 1,813 SF (-395)

127 SF (A-370)
 300 SF (A-370)

ZONING: PL-1 (A-370)
 APR 10 11-02-00-00-3

- KEY NOTES**
1. 4" CONCRETE NUMBER CURB
 2. SAWCUT PAVEMENT & CONFORM TO DRAWING TO PROVIDE A SHOULDER
 3. EXISTING TYPE 1 ASPHALT WITH 2" X 1/2" LETTERING, TRAFFIC WHITE
 4. 2" X 1/2" TRAFFIC WHITE PAINT
 5. 2" X 1/2" TRAFFIC WHITE PAINT
 6. STOP SIGN, R1-1
 7. DO NOT ENTER SIGN, R2-1
 8. TYPICAL CHANCE POLE (WALL, CHASE, BLUE)
 9. ALL MACHINERY, EQUIPMENT, AND CANOPY COLUMNS, (SEE ARCHITECTURAL PLANS FOR DETAILS)
 10. EXISTING AND NEW (SEE ARCHITECTURAL/STRUCTURAL PLANS FOR DETAILS)
 11. REBAR/STEEL (SEE ARCHITECTURAL PLANS FOR DETAILS)
 12. DURING TYPE 1 ASPHALT, TRAFFIC WHITE PAINT
 13. 4" WIDE STRIPS AT 4' O.C., TRAFFIC YELLOW PAINT
 14. SEE NOTES TO BE REMOVED/RELOCATED, SEE LANDSCAPE PLANS
 15. EXISTING LIGHT POLE TO REMAIN, PROTECT IN PLACE
 16. EXISTING CURB CUT AND SWALE FOR PEDESTRIAN DRAINAGE

- SITE NOTES**
1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CALIFORNIA COUNTY STANDARDS AND SPECIFICATIONS FOR ROADWAY CONSTRUCTION AND THE LATEST CALIFORNIA COUNTY STANDARDS AND SPECIFICATIONS FOR LANDSCAPE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL CONFORM TO APPLICABLE STATE AND LOCAL ORDINANCES, REGULATIONS, AND STANDARDS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
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 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.



CIRCULATION PLAN

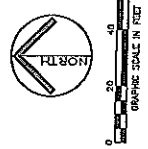
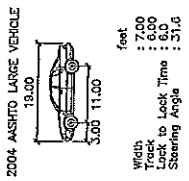
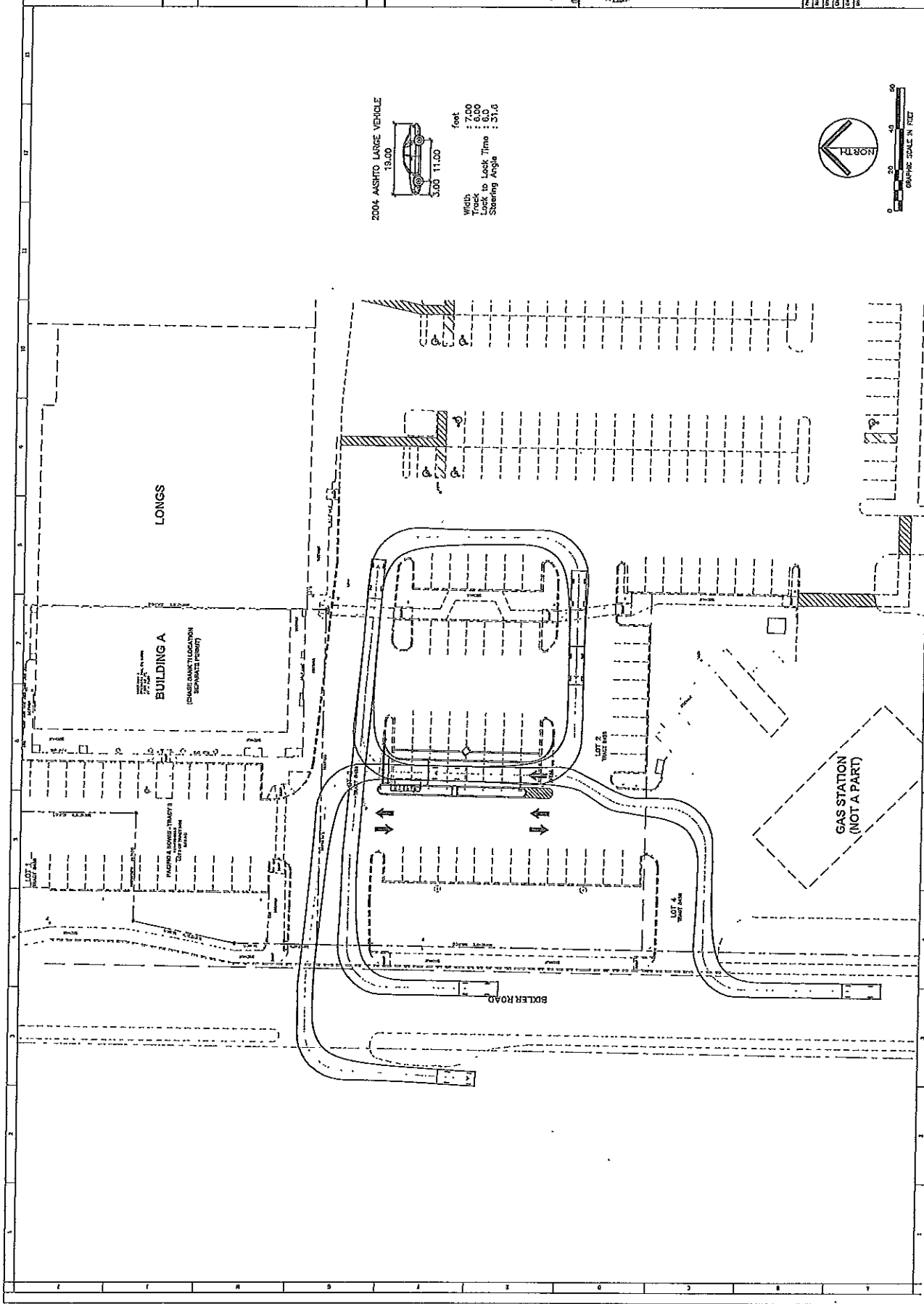
DATE: 11.01.11
SCALE: AS SHOWN
PROJECT: 124 S. HOBSON AVENUE
CITY: LOS ANGELES, CA 90015
PHONE: (310) 262-2422
CALCIH DESIGN GROUP, LLC

PREPARED BY:
CALCIH DESIGN GROUP, LLC
124 S. HOBSON AVENUE
LOS ANGELES, CA 90015
PHONE: (310) 262-2422
FAX: (310) 262-2422



design-form.
Architects, Inc.
Donald J. Pedersen, Architect in Charge
5075 Foothill Blvd., Suite 400
Pasadena, CA 91104
Phone: (626) 799-4400
Fax: (626) 799-4401

CHASE
HWY 4 & BIXLER HWY, 4
14810 HWY, 4
DISCOVERY BAY, CA 94505



CHASE
 HWY 4 & BIXLER EMOTE ATM
 14810 HWY. 4
 DISCOVERY BAY, CA 94505

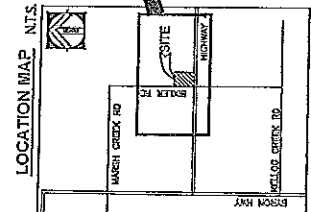
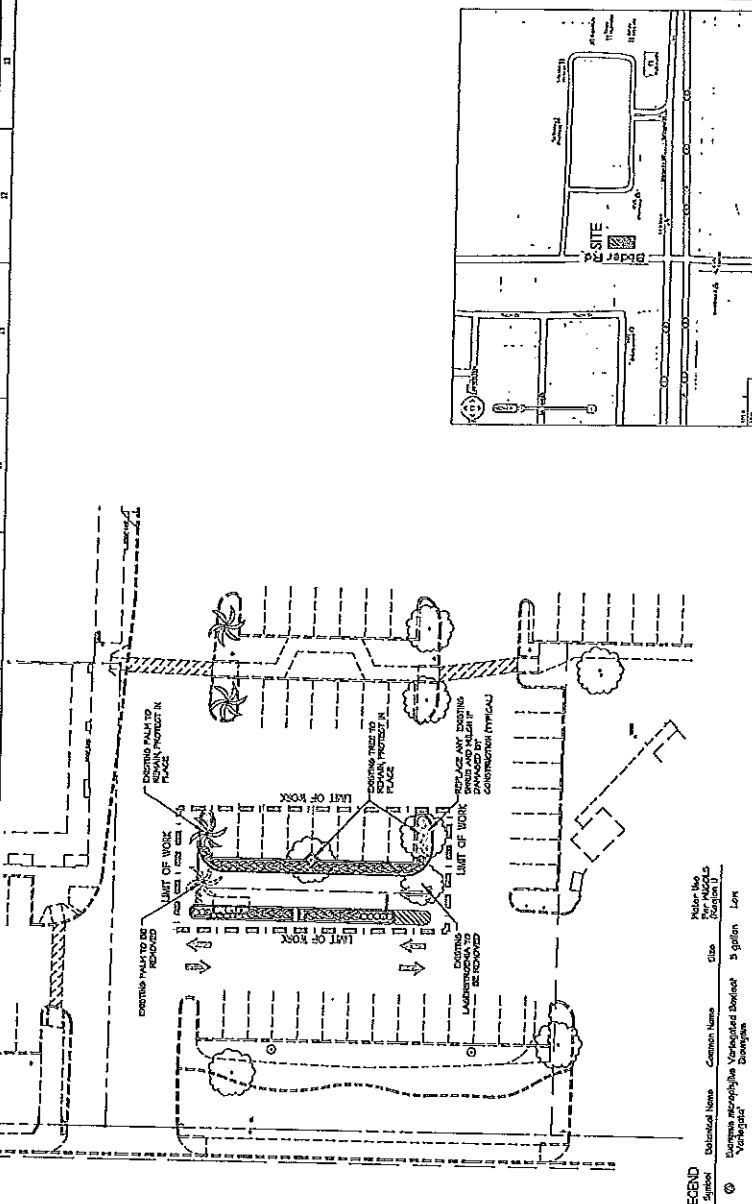
NO.	DATE	DESCRIPTION

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 Design & Architecture, Inc.
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 (925) 438-1400
 Fax: (925) 438-1401
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CALCHIT DESIGN GROUP, LLC
 1545 S. GARDEN WALK
 SUITE 100
 OAKLAND, CA 94612
 (415) 764-7422
 (925) 938-2418

PROJECT NO. 14810
 SHEET NO. 1
 DATE: 11/15/11
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PLANTING PLAN AND DETAILS



REGISTERED ARCHITECT & PLANNER
 CALIFORNIA ARCHITECTURAL BOARD
 No. 14810
 CALIFORNIA ARCHITECTURAL BOARD
 No. 14810

SCALE 1"=20'-0"

0' 10' 20' 40' 60'

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 AT 1-800-227-2000
 VISIT US AT
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LEGEND

Symbol	Botanical Name	Common Name	Size	Spacer	Leaf	Notes
○	Yucca angustifolia	Spine cholla	3 gallon			
○	Yucca angustifolia	Spine cholla	1 gallon			
○	Yucca angustifolia	Spine cholla	1 gallon			

REPLACE PLANTS TO BE DAMAGED DURING THE CONSTRUCTION WITH NON NATURAL.

ALL PLANTING AREA TO BE TOP-DRESSED WITH 2" DEEP LAYER OF 50/50 MIXTURE.

NOTES:

1. VERIFY ALL PLANTING QUANTITIES AND SPECIES WITH THE CLIENT PRIOR TO CONSTRUCTION.

2. VERIFY ALL PLANTING QUANTITIES AND SPECIES WITH THE CLIENT PRIOR TO CONSTRUCTION.

3. VERIFY ALL PLANTING QUANTITIES AND SPECIES WITH THE CLIENT PRIOR TO CONSTRUCTION.

4. VERIFY ALL PLANTING QUANTITIES AND SPECIES WITH THE CLIENT PRIOR TO CONSTRUCTION.

5. VERIFY ALL PLANTING QUANTITIES AND SPECIES WITH THE CLIENT PRIOR TO CONSTRUCTION.

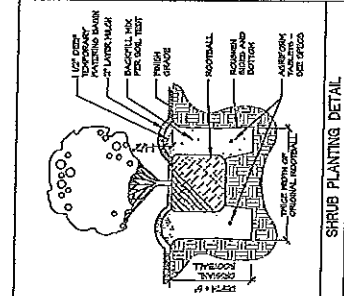
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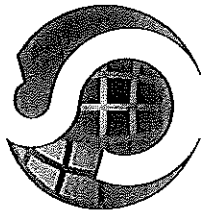
7. VERIFY ALL PLANTING QUANTITIES AND SPECIES WITH THE CLIENT PRIOR TO CONSTRUCTION.

8. VERIFY ALL PLANTING QUANTITIES AND SPECIES WITH THE CLIENT PRIOR TO CONSTRUCTION.

9. VERIFY ALL PLANTING QUANTITIES AND SPECIES WITH THE CLIENT PRIOR TO CONSTRUCTION.

10. VERIFY ALL PLANTING QUANTITIES AND SPECIES WITH THE CLIENT PRIOR TO CONSTRUCTION.





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CAN-VE-X
REMASTER
NO-PRINT

CONTRACT COUNTY
DATE: 11/05/10
Salesperson: Arthur Navarro
Coordinator: Cassie Flury
Designer: J. Gonzalez
Scale: As Noted

△	△
△	△
△	△
△	△
△	△

CUSTOMER APPROVAL

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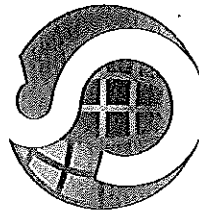
Drawing Number: _____
Work Order Number: _____
Sheet 1 of 32
JGM 11/05/10

CHASE

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SIGN TYPE



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Coordinator: Cassie Fligley
Designer: J Gonzalez
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△
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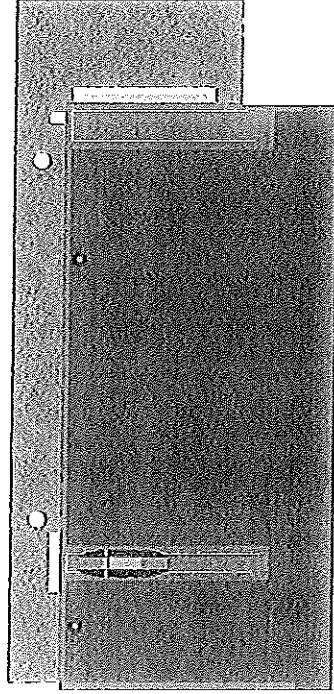
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Sheet: 2

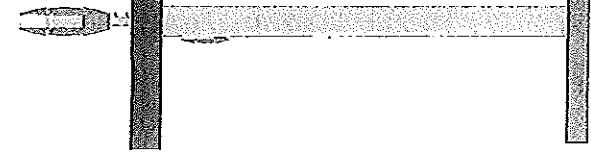
of 32

JGM

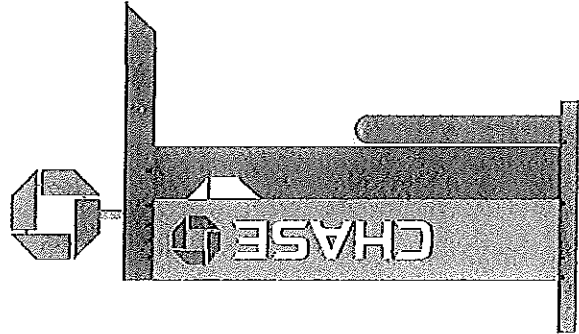
11/05/10



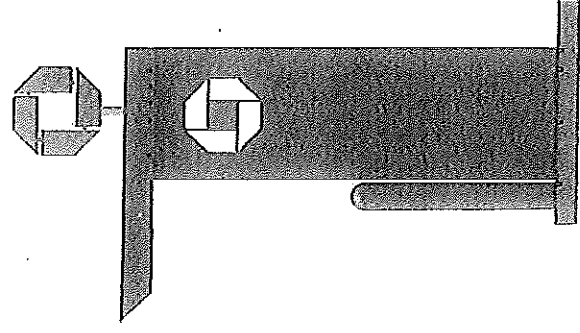
TOP VIEW CAN-VE-X
SCALE: 3/8" = 1'-0"



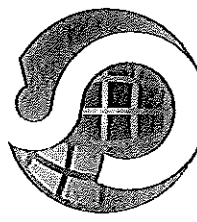
FRONT VIEW CAN-VE-X
SCALE: 3/8" = 1'-0"



APPROACH ELEVATION
SCALE: 3/8" = 1'-0"



DEPARTURE ELEVATION
SCALE: 3/8" = 1'-0"



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 Salesperson: Arthur Davarom
 Coordinator: Cassie Fleury
 Designer: J Gonzalez
 Sealer: AS Noted

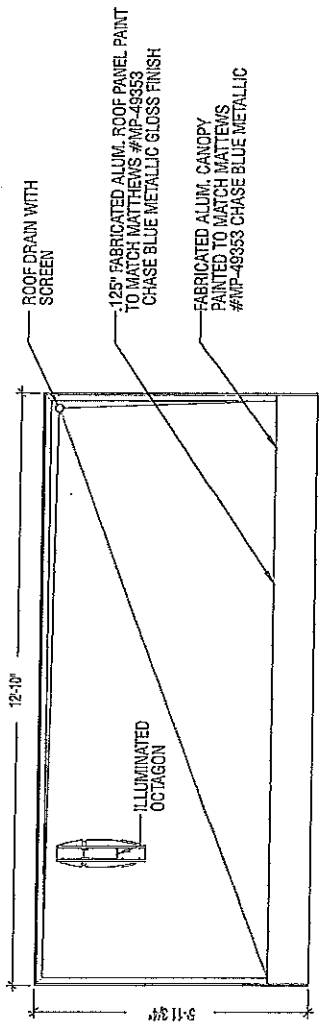
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CUSTOMER APPROVAL

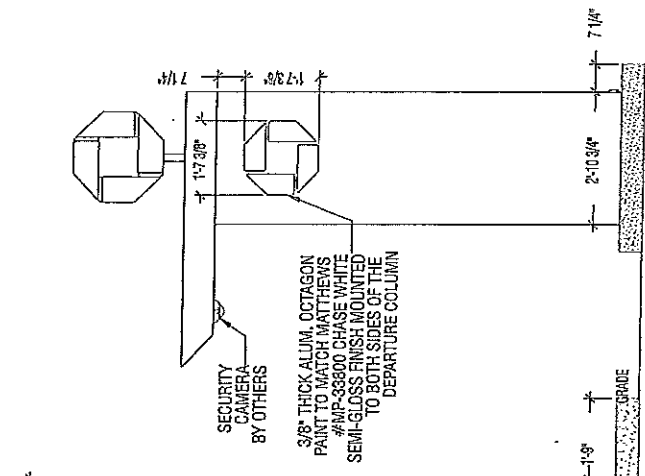
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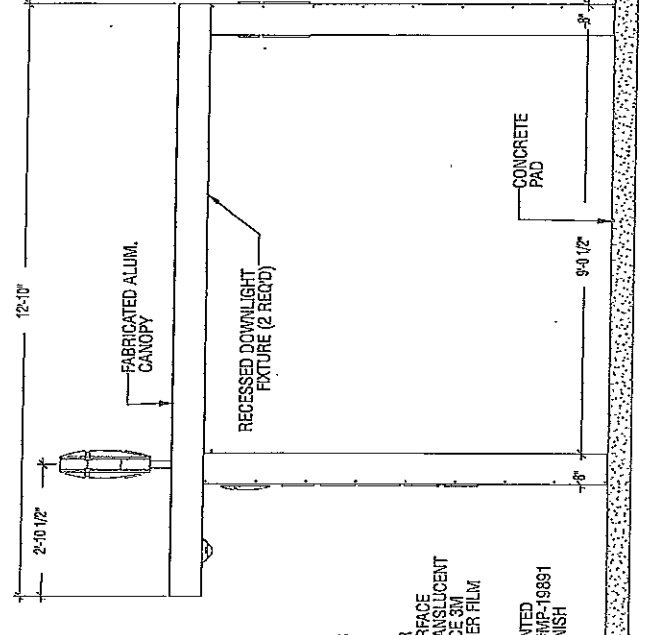
Drawing Number: _____
 Work Order Number: _____
 Sheet: 3 of 3
 Date: 11/05/10



4 TOP VIEW Scale: 3/8" = 1'-0"



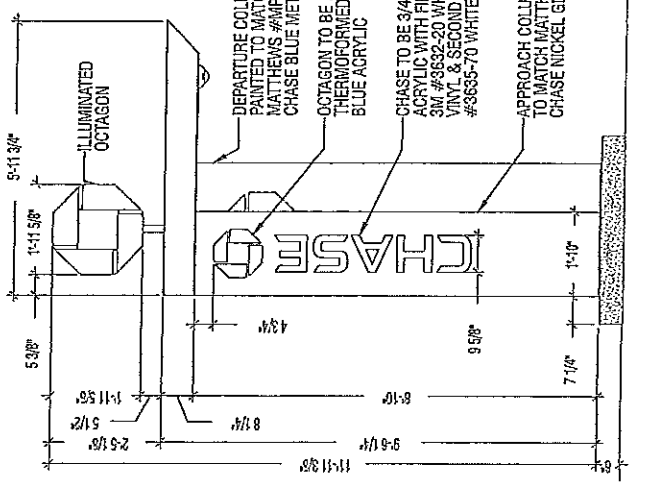
2 DEPARTURE ELEVATION Scale: 3/8" = 1'-0"



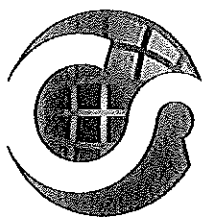
1 ELEVATION Scale: 3/8" = 1'-0"

CANOPY ELECTRICAL REQUIREMENTS (NOT INCLUDING ATA MACHINE, SECURITY CAMERA & RELATED APPLIANCES):
 LEDS: (18) PERMILIGHT 753-WHT TWISTER STAR
 DOWNLIGHTS: (2) ROUND LIGHTING #MCR0410-1 100 WATT, 120V METAL HALIDE FIXTURE @ 4.0A
 LED POWER SUPPLY: (2) PERMILIGHT 60-120A @ 0.65A
 TOTAL LOAD: 7.3 AMPS
 CIRCUITS: (1) 20 AMP REC'D.

ALL EXPOSED PAINTED SURFACES SHALL BE COATED WITH MATTHEWS #282-20852 V.O.C. GLOSS CLEAR WITH AMMUNUM 2 MILS DRY FILM THICKNESS (DFT) PER MATTHEWS APPLICATION SPECIFICATIONS.



3 APPROACH ELEVATION Scale: 3/8" = 1'-0"



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 Salesperson: Arthur Mazono
 Coordinator: Cassie Fleury
 Designer: J Gonzalez
 Scale: AS Noted

Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
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Customer Signature	Date

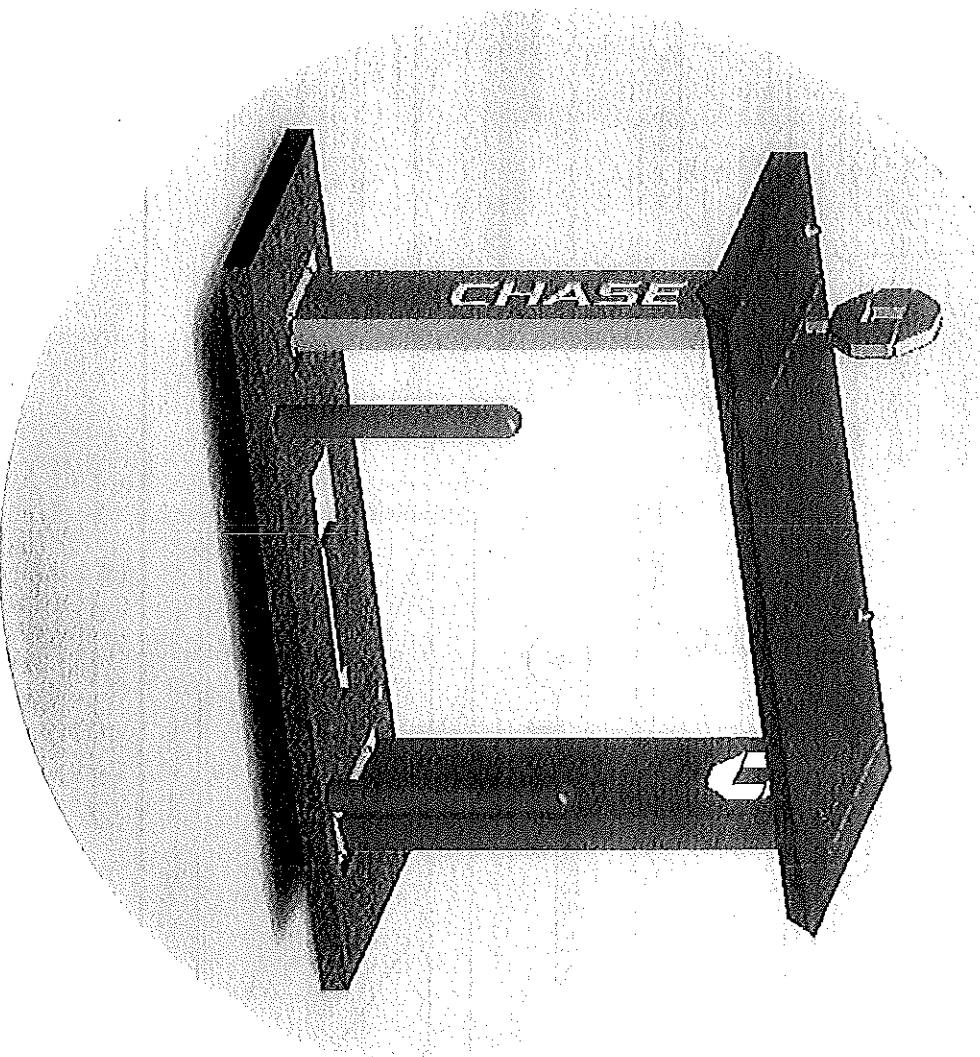
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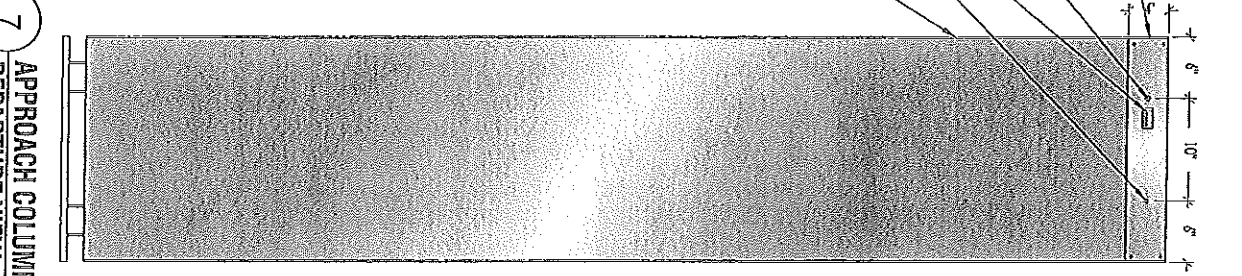
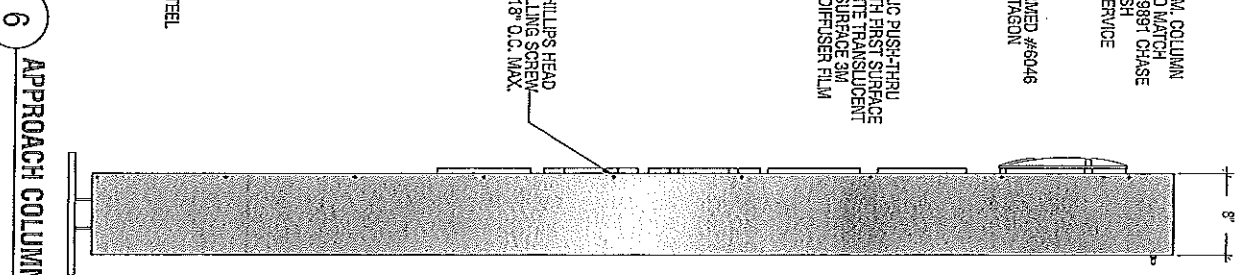
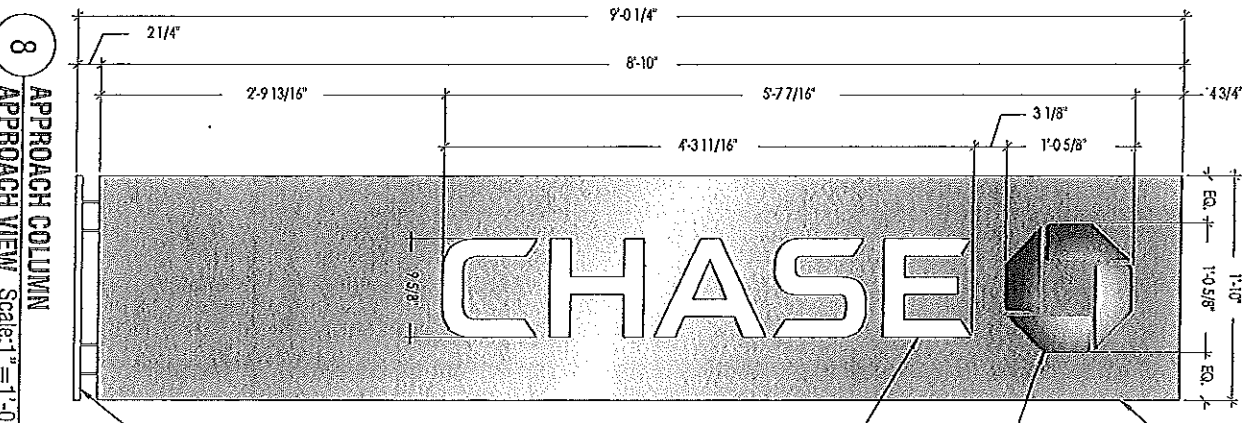
- Design is based on 90 mph 3 sec gust design wind speed per IBC 2006. Exposure C and 50 psf ground snow load.
- Spread foundation analysis is based on a safe vertical soil bearing pressure minimum of 2000 psf. Soil report was not furnished. Allowable bearing pressure should be verified prior to placement of concrete. Do not place foundation in fill.
- Concrete shall be mixed to attain a minimum compressive strength of 3000 psi in 28 days.
- Steel support members shall be free from defects and shall meet ASTM A500 grade B with a minimum yield strength of 46000 psi for tube. Steel plate and angle shall meet ASTM A36. Aluminum shapes be extruded from 6061-T6 alloy. Aluminum sheet shall be 3003-H14 alloy. Aluminum plate shall be 5052-H34 alloy.
- Structural bolts shall be zinc coated A325 unless otherwise noted. All other fasteners shall be stainless steel or otherwise coated to prevent corrosion.
- Anchor bolts shall be cut from A36 round stock. Exposed surfaces shall be galvanized or coated to prevent corrosion.
- All voids between column base plate and foundation surface shall be completely filled with high strength, non-shrink grout.
- Welds shall be made with E70xx electrodes for steel and a 4000 series filler for aluminum by persons qualified in accordance with AWS standards within the past two years.
- Steel reinforcing bars shall conform to ASTM 615 grade 60 with deformations in accordance with ASTM A-305. Welding of reinforcing bars is prohibited.
- This design is prototypical and should not be used for site specific applications unless deemed suitable by a competent Professional Engineer.



5

3D VIEW OF CAN-VE-X

Scale: NTS



1 1/2" x 2 1/4" x 5/8" STEEL BASE PLATE

1/2" FORMED ALUM. COLUMN CLADDING PAINT TO MATCH MATTHEWS #AMP-19891 CHASE NICKEL GLOSS FINISH REMOVABLE FOR SERVICE

1/2" THERMOFORMED BLENDED ACRYLIC COPOLYMER SEGMENT FACE #6046

3/4" CLEAR ACRYLIC PUSH-THRU CHASE COPY WITH FIRST SURFACE VINYL & SECOND SURFACE 3M #3685-70 WHITE DIFFUSER FILM

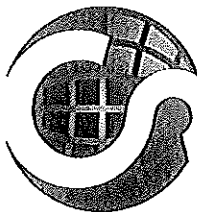
4"x21 3/4"x 1/2" STATIONARY ALUM. PANEL PAINT TO MATCH MATTHEWS #AMP-19891 CHASE NICKEL GLOSS FINISH

20 AMP TOGGLE DISCONNECT SWITCH WITH SEALING BOOT

UL LABEL

PHOTOCELL

1/2" ALUM. INNER PANEL PAINT TO MATCH #AMP-19891 CHASE NICKEL GLOSS FINISH



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Date: 11/05/10
 Salesperson: Adria Chavez
 Coordinator: Cassie Fleury
 Designer: J. Gonzalez
 Scaled: As Noted

Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date

CUSTOMER APPROVAL

Customer Signature _____ Date _____

Customer Signature _____ Date _____

Customer Signature _____ Date _____

Customer Signature _____ Date _____

Customer Signature _____ Date _____

Customer Signature _____ Date _____

Customer Signature _____ Date _____

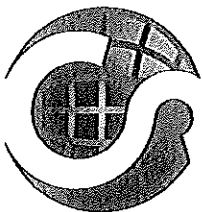
Customer Signature _____ Date _____

Customer Signature _____ Date _____

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Sheet 5 of 32

11/05/10



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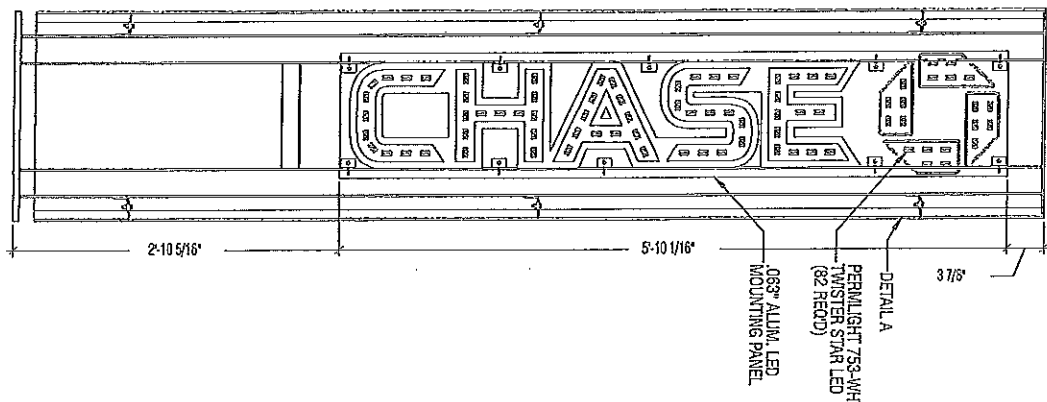
Date: 11/05/10
 Salesperson: Adam Navaro
 Coordinator: Cassie Healy
 Designer: J. Gonzalez
 Scale: AS NOTED

Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date

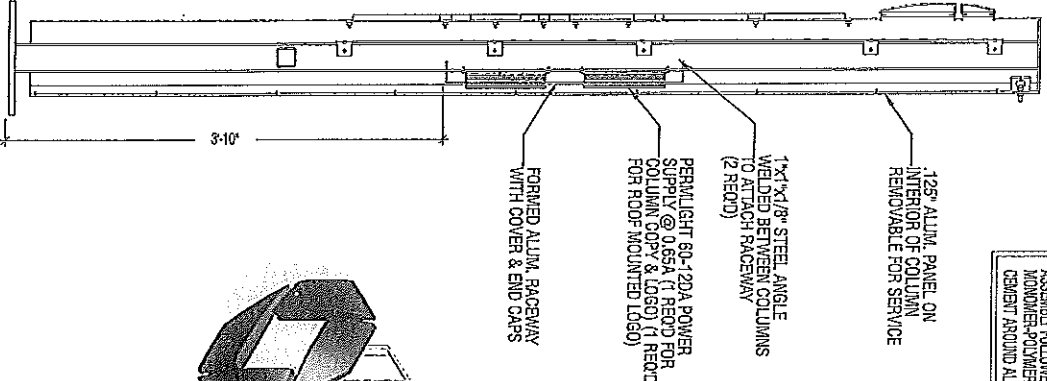
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 Work Order Number: _____
 Sheet: 6 of 32
 Date: 11/05/10

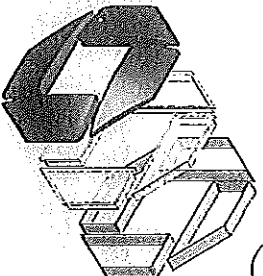
ALL ACRYLIC ASSEMBLIES SHALL EMPLOY A SOLVENT TYPE CEMENT FOR INITIAL BOND ASSEMBLY FOLLOWED BY A HARDENER POLYMER-SOLVENT (MPS) TYPE CEMENT AROUND ALL BOUNDED EDGES.



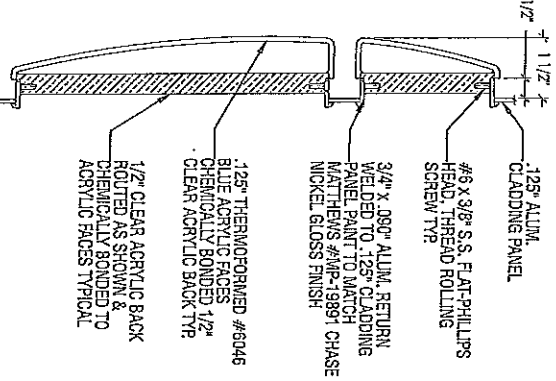
9 APPROACH COLUMN ASSEMBLED SIDE VIEW Scale: 1/8\"/>



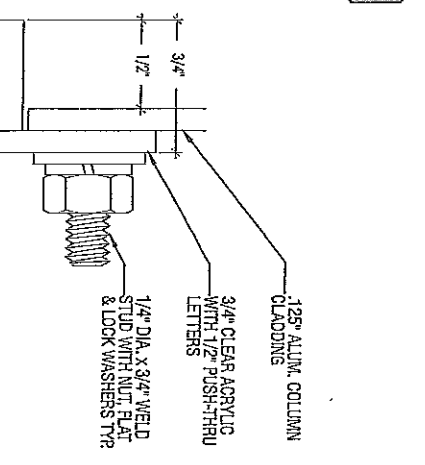
10 APPROACH COLUMN ASSEMBLED ELEVATION Scale: 1/8\"/>



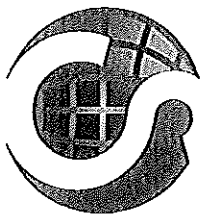
G OCTAGON ATTACHMENT DETAIL Scale: 1/8\"/>



H PUSH-THRU LETTERS MOUNTING DETAIL Scale: 3\"/>



Scale: 3\"/>



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Date: 11/05/10
 Salesperson: Arthur Navarón
 Coordinator: Cassia Henry
 Designer: J. Gonzalez
 Scale: As Noted

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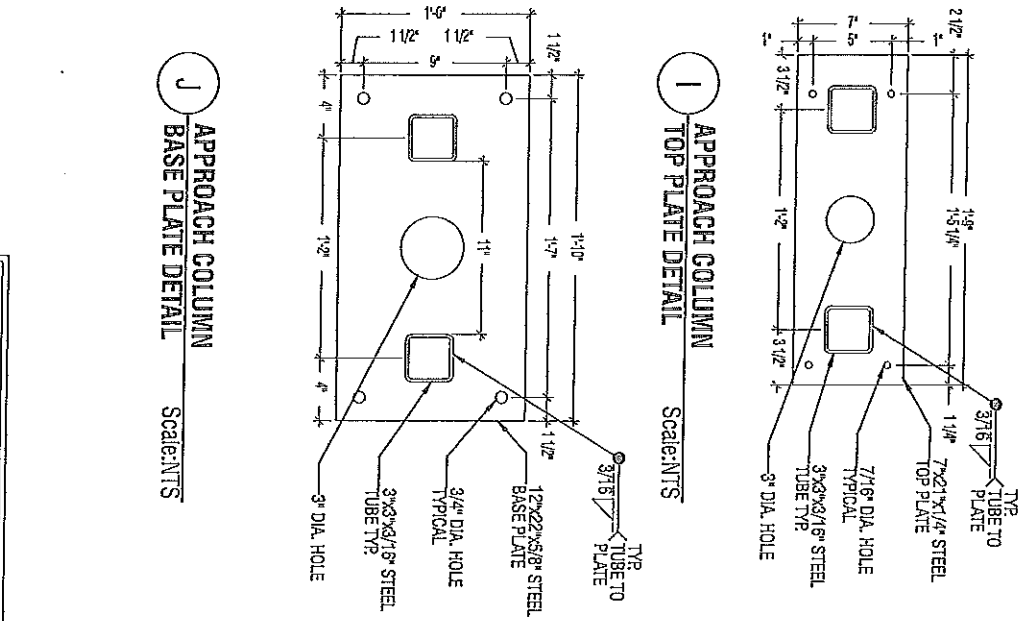
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Work Order Number: _____

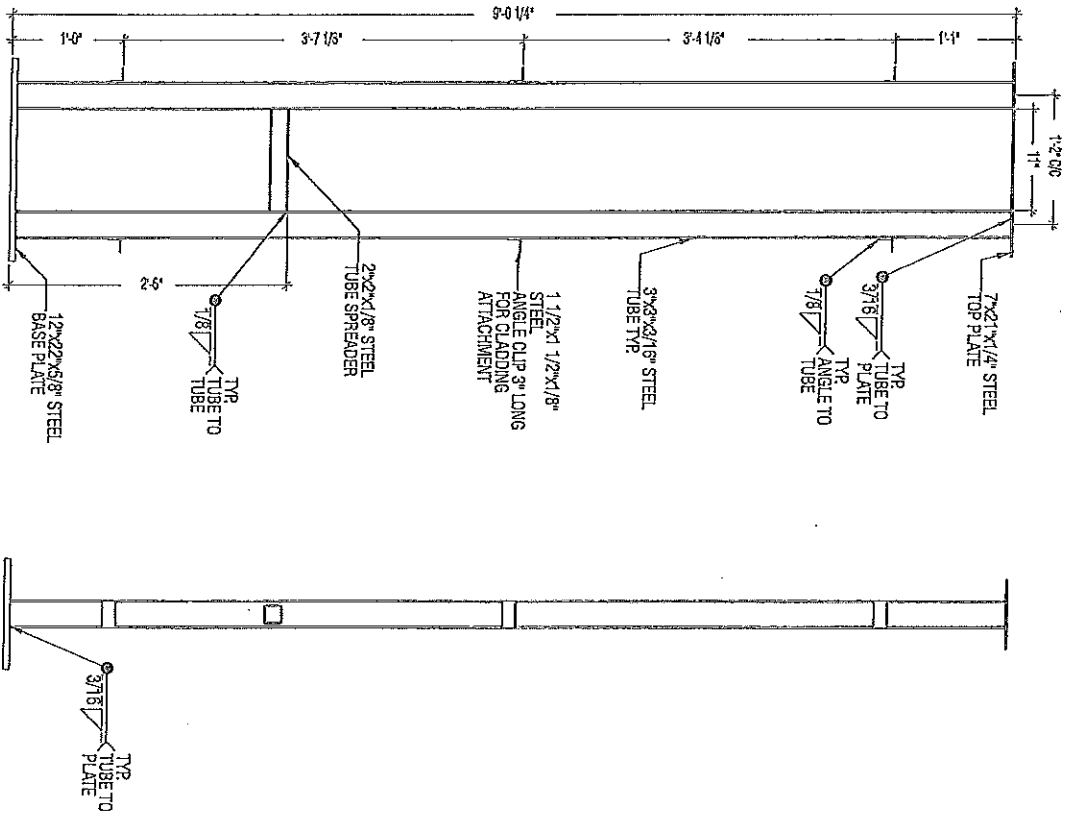
Sheet 7

Of: 32

11/05/10



**1 APPROACH COLUMN
 TOP PLATE DETAIL**
 Scale: NTS



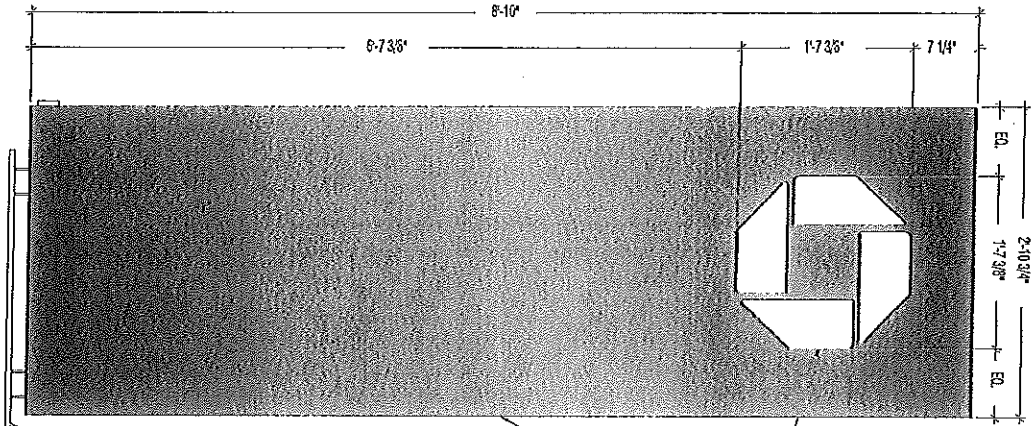
**11 APPROACH COLUMN
 STRUCTURE**
 Scale: NTS

**12 APPROACH COLUMN
 ELEVATION STRUCTURE**
 Scale: NTS

**J APPROACH COLUMN
 BASE PLATE DETAIL**
 Scale: NTS

COLUMN ELECTRICAL REQUIREMENTS:

LENS: (02) PERMILIGHT 733-WHT TWISTER STAR
 POWER SUPPLY: (1) PERMILIGHT 63-120A @ 0.65A
 TOTAL LOAD: 0.65 AMPS
 CIRCUITS: (1) 20 AMP BRKO

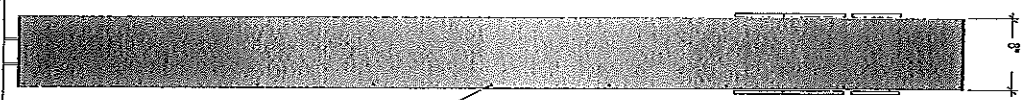


3/8" THICK ALUM. PLATE
 OXIGONON PAINT TO MATCH
 MATTHEWS #MP-8880
 CHASE WHITE SEMI-GLOSS
 P.N. MOUNTED TO
 CLADDING WITH 1/4" DIA.
 X 1" THREADED STUDS

1/2" FORMED ALUM. COLUMN
 CLADDING PAINT TO MATCH
 MATTHEWS #MP-49553
 CHASE METALLIC BLUE GLOSS
 FINISH

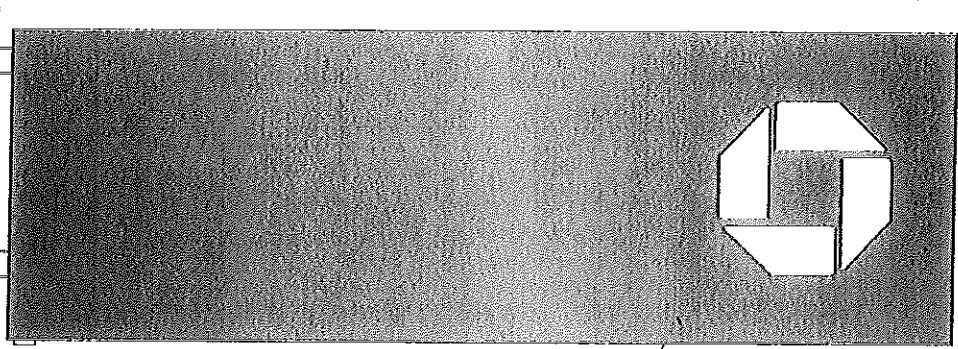
1/2" X 3/4" X 5/8" STEEL
 BASE PLATE

16 DEPARTURE COLUMN APPROACH VIEW Scale: 1" = 1'-0"



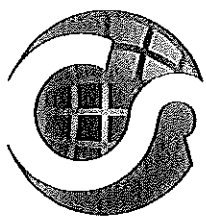
#8 X 1/2" FLAT-PHILLIPS HEAD
 THREADED ROLLING SCREW
 @ 18" O.C. MAX

14 DEPARTURE COLUMN ELEVATION Scale: 1" = 1'-0"



1/2" ALUM. REMOVABLE
 SERVICE PANEL PAINT
 TO MATCH #MP-49553 CHASE
 METALLIC BLUE GLOSS FINISH

15 DEPARTURE COLUMN DEPARTURE VIEW Scale: 1" = 1'-0"



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Date: 11/05/10
 Suspensor: Andre Navarro
 Coordinator: Cassie Fleury
 Designer: J Gonzalez
 Scale: AS Noted

Customer Signature	Date

CUSTOMER APPROVAL

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Customer Signature _____ Date _____

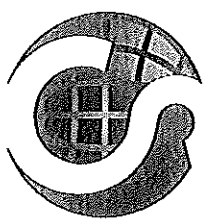
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Drawing Number: _____

Work Order Number: _____

Sheet: 9 of 32

JGM 11/05/10



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Date: 14/05/10
 Salesperson: Arthur Navarra
 Coordinator: Cassia Fleury
 Designer: J. Gonzalez
 As Method

Customer Signature	Date

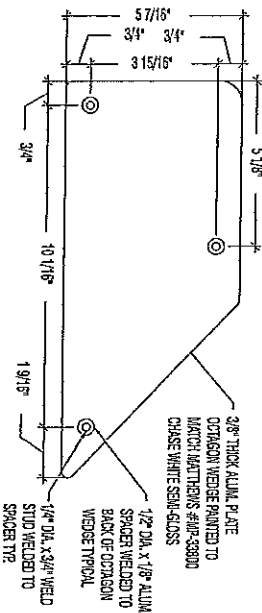
CUSTOMER APPROVAL

Signature _____ Date _____
 Title _____

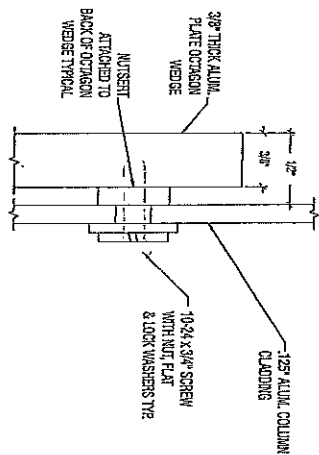
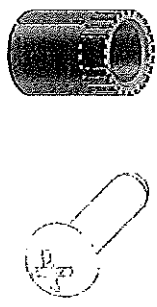
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 Work Order Number: _____

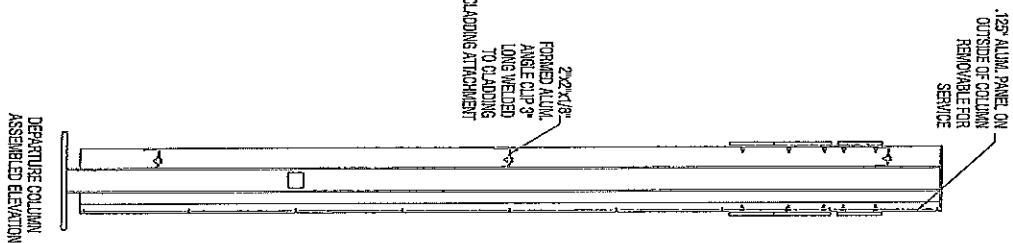
Sheet: 10 of 32
 Date: 11/05/10



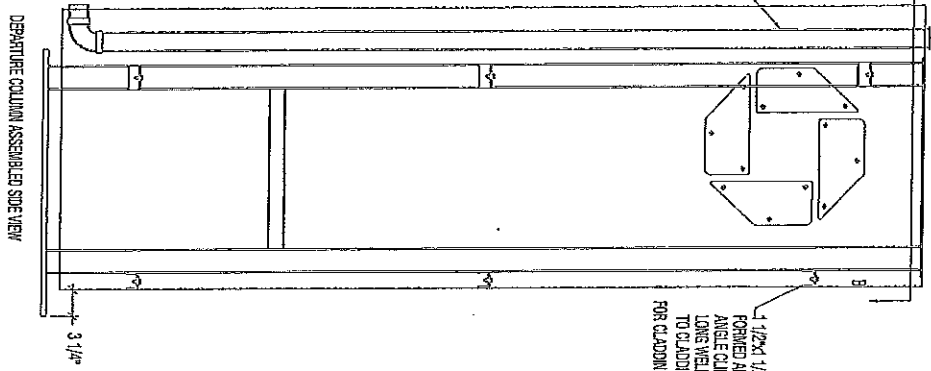
M E.C.O. OCTAGON SEGMENT DETAIL
 Scale: 3" = 1'-0"



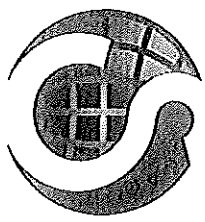
N E.C.O. OCTAGON ATTACHMENT DETAIL
 Scale: 3" = 1'-0"



18 DEPARTURE COLUMN ASSEMBLED ELEVATION
 Scale: N.T.S.



17 DEPARTURE COLUMN ASSEMBLED SIDE VIEW
 Scale: N.T.S.



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Date: 11/05/10
Salesperson: Arthur Navarero
Coordinator: Cassie Henry
Designer: J Gonzalez
Scale: AS NOTED

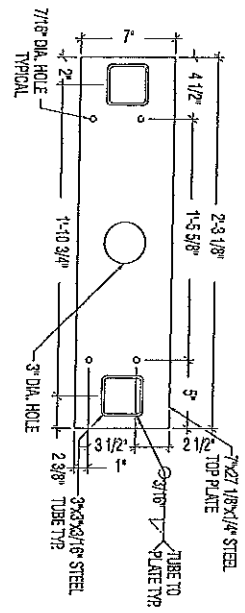
Customer Signature	Date

CUSTOMER APPROVAL

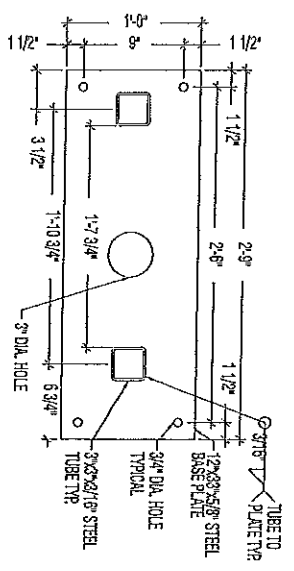
Customer Signature _____ Date _____
 Title _____
 Company _____
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Customer Signature _____ Date _____
 Title _____
 Company _____
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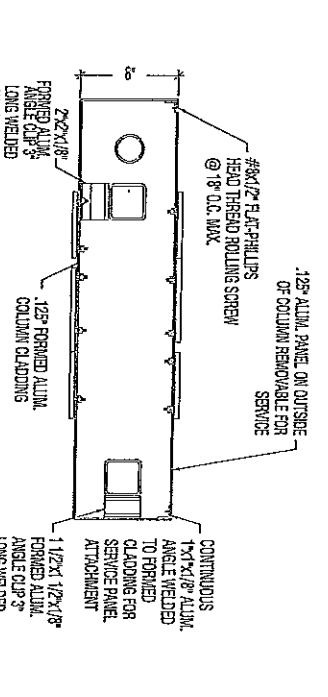
Work Order Number: _____
 Drawing Number: _____
 Sheet 11 of 20
 JGM
 4/4/05/MLN



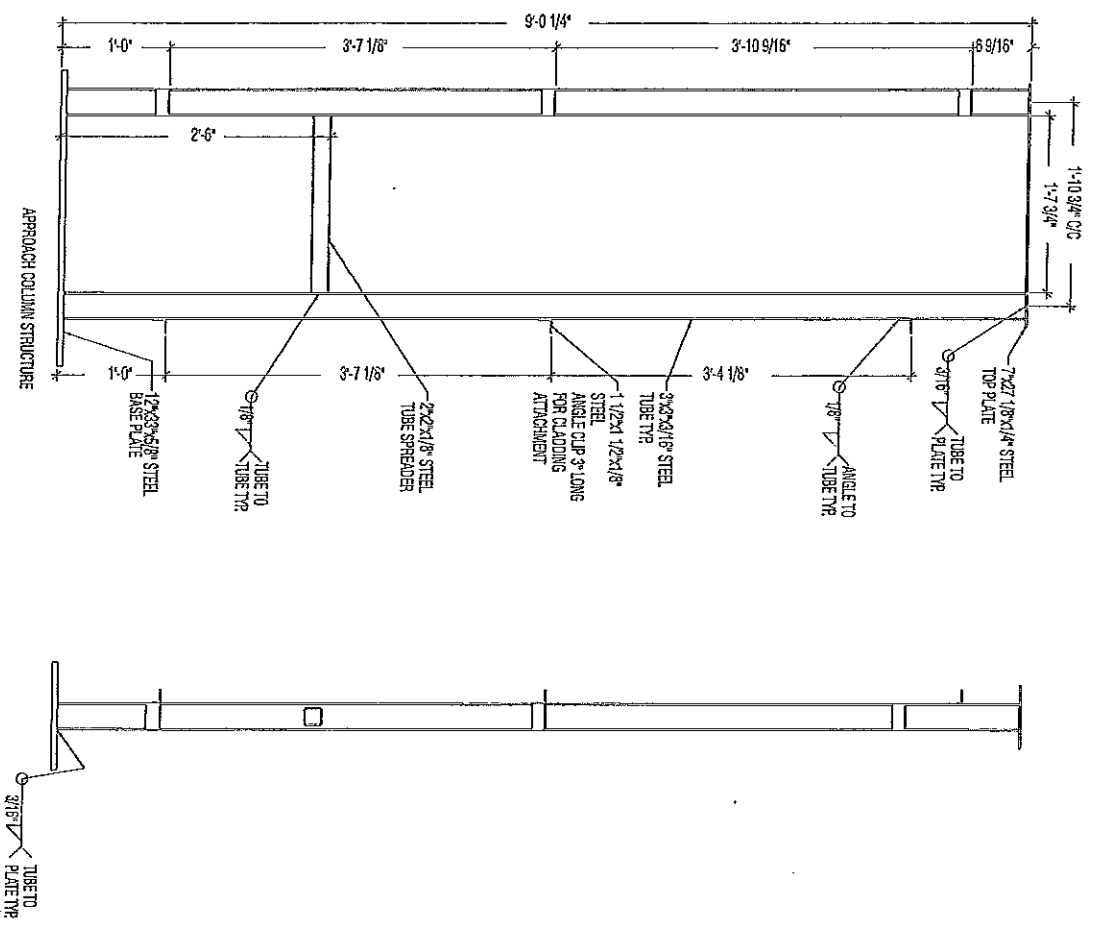
0 DEPARTURE COLUMN TOP PLATE DETAIL
Scale: NTS



P DEPARTURE COLUMN BASE PLATE DETAIL
Scale: NTS

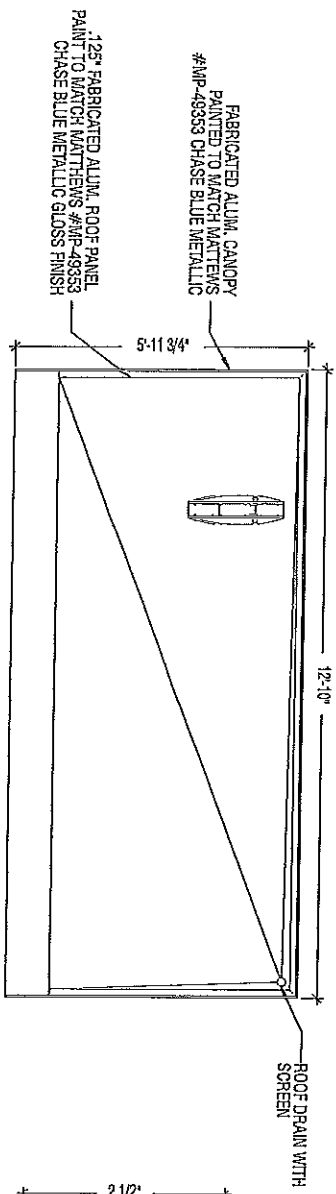


B-B HORIZONTAL SECTION DEPARTURE COLUMN
Scale: NTS

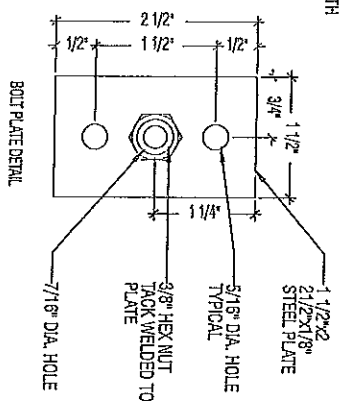


19 DEPARTURE COLUMN STRUCTURE
Scale: NTS

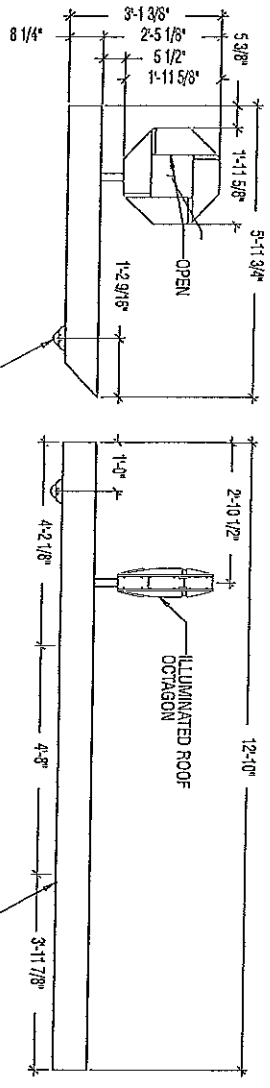
20 DEPARTURE COLUMN ELEVATION STRUCTURE
Scale: NTS



22 CANOPY ROOF TOP VIEW
Scale: NTS

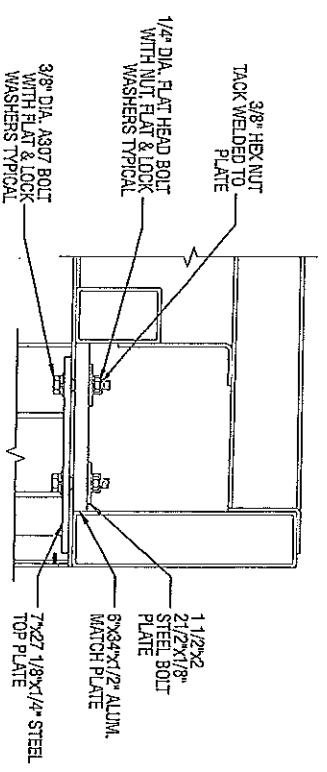


S BOLT PLATE DETAIL
Scale: NTS

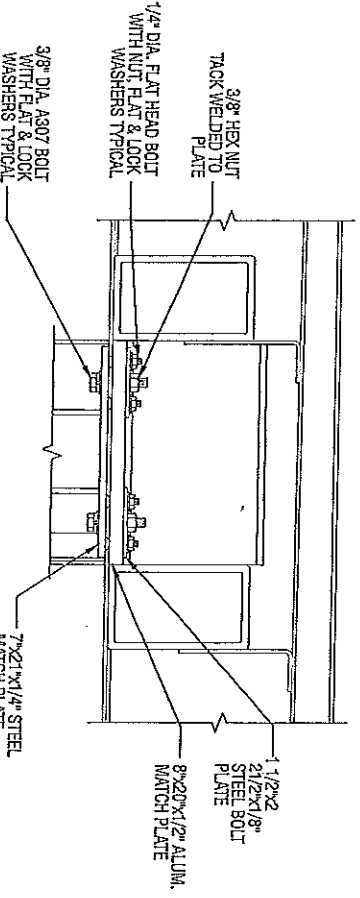


23 SIDE VIEW
Scale: NTS

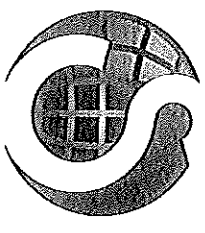
21 CANOPY ROOF ELEVATION
Scale: NTS



Q DEPARTURE COLUMN ATTACHMENT DETAIL
Scale: NTS



R APPROACH COLUMN ATTACHMENT DETAIL
Scale: NTS



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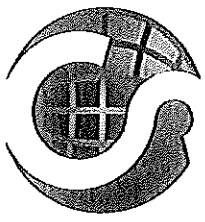
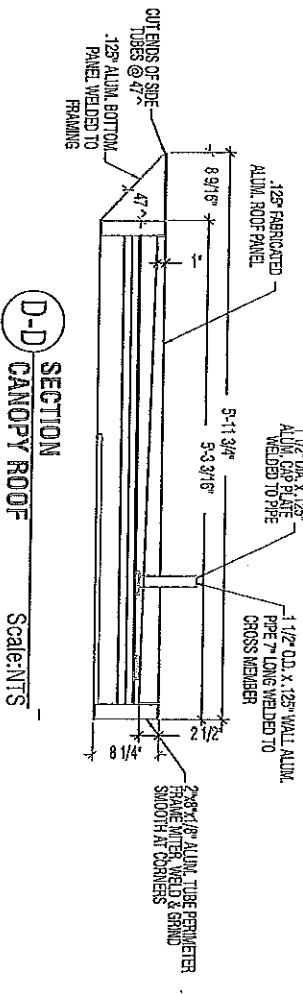
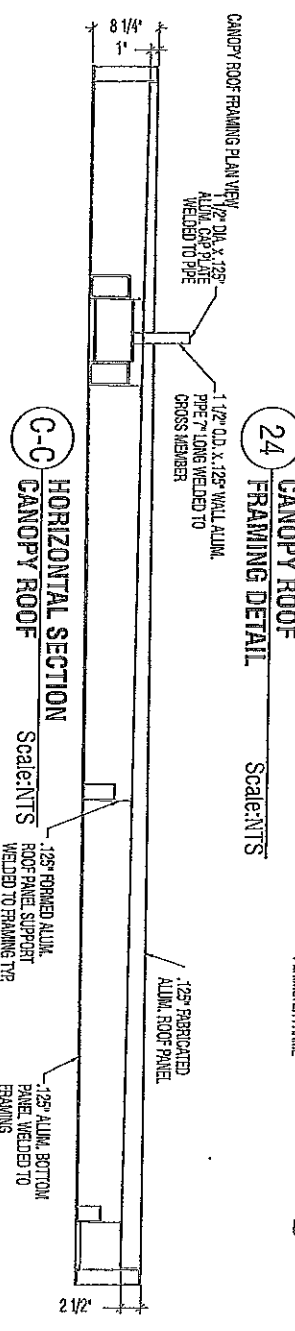
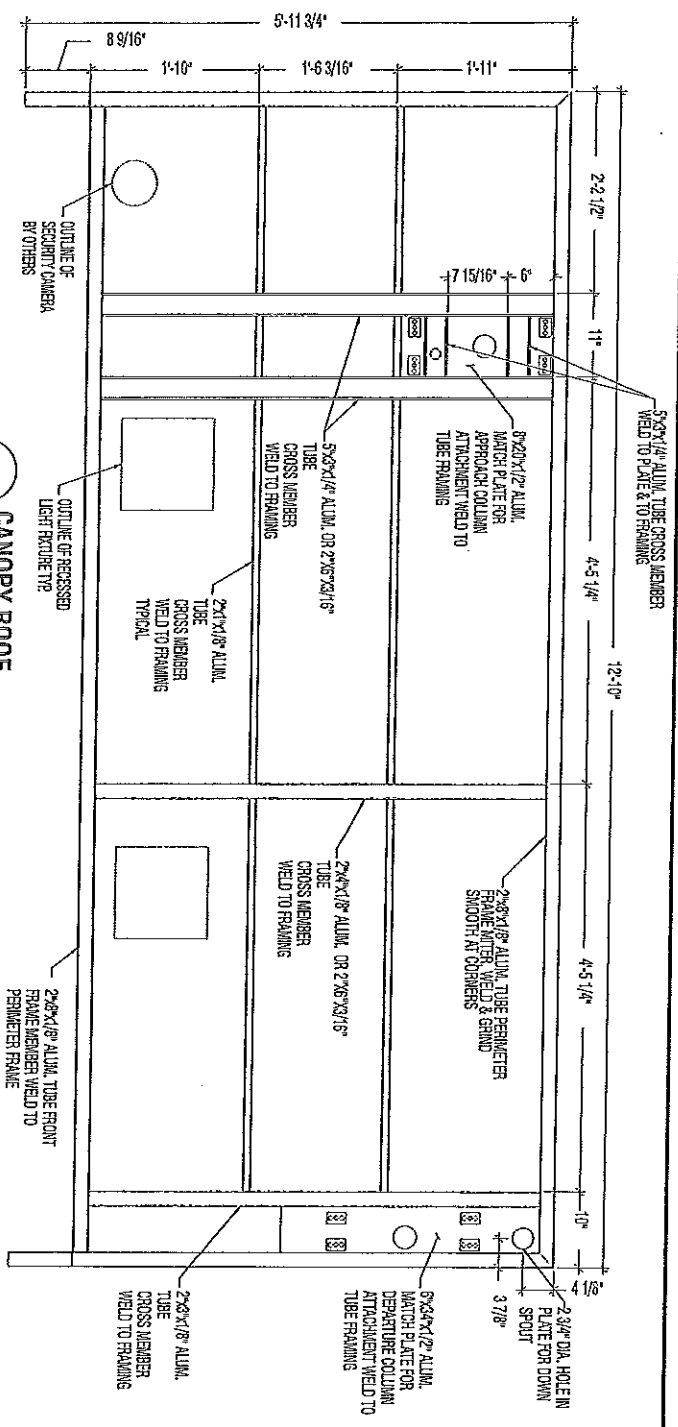
**CAN-VE-X
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Date: 11/05/10
Salesperson: Arthur Navarro
Coordinator: Cassie Fleury
Designer: J Gonzalez
Scale: AS NOTED

Customer Signature	Date

CUSTOMER APPROVAL
Customer Signature: _____ Date: _____
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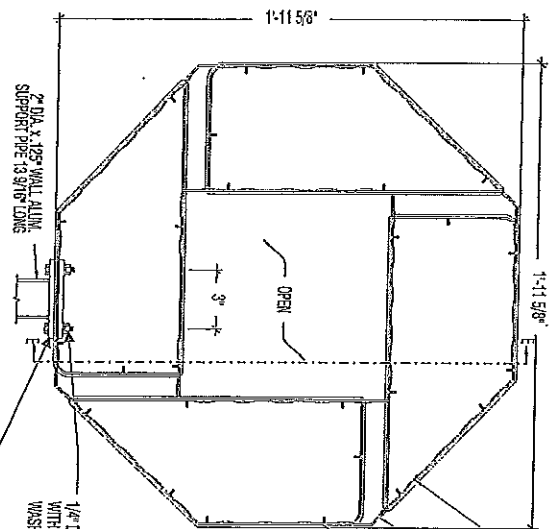
Date: 11/05/10
 Salesperson: Arthur Beauman
 Coordinator: Cassie Fleury
 Designer: J Gonzalez
 Scale: As Noted

Customer Signature	Date

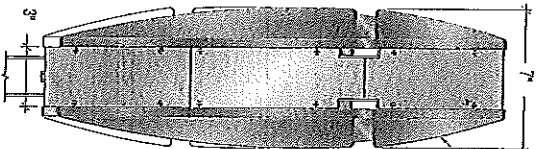
CUSTOMER APPROVAL

Customer Signature: _____ Date: _____
 Title: _____
 Company: _____

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26 APPROACH ELEVATION
Scale: NTS



25 ROOF OCTAGON FRONT VIEW
Scale: NTS

PERMILIGHT 733-BLUE TWISTER STAR LED MOUNTED TO ALUM. RETAINS (63 REED)

30° FABRICATED ALUM. BRIDGE WELDED TO .080\"/>

NOTE: POWER SUPPLIES FOR OCTAGON ARE LOCATED IN APPROACH COLUMN

12\"/>

#6d/8\"/>

12\"/>

1/2\"/>

PERMILIGHT 733-BLUE TWISTER STAR LED MOUNTED TO ALUM. RETAINS (63 REED)

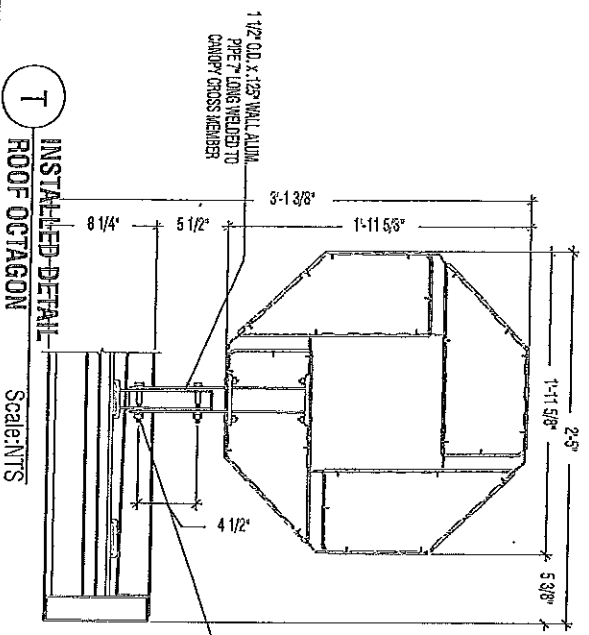
1/4\"/>

2x1/4\"/>

TUBE TO PLATE

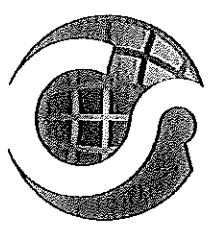
OCTAGON ELECTRICAL REQUIREMENTS:
LEDS: (63) PERMILIGHT 733-BLUE TWISTER STAR
POWER SUPPLY: (1) PERMILIGHT 89-120A @ 0.65A
TOTAL LOAD: 0.65 AMPS
CIRCUITS: (1) 20 AMP RECD.

ALL ACRYLIC ASSEMBLIES SHALL EMPLOY A SOLVENT TYPE CEMENT FOR INITIAL RAPID ASSEMBLY FOLLOWED BY A NON-SOLVENT-POLYMER-SOLVENT (MPS) TYPE CEMENT AROUND ALL BONDED EDGES.



T INSTALLED DETAIL ROOF OCTAGON
Scale: NTS

E-E SECTION ROOF OCTAGON
Scale: NTS



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Salesperson: Arthur Navarra
Coordinator: Cassie Heury
Designer: J. Gonzalez
Scale: AS NOTED

Customer Signature	Date
△	△
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△	△
△	△
△	△

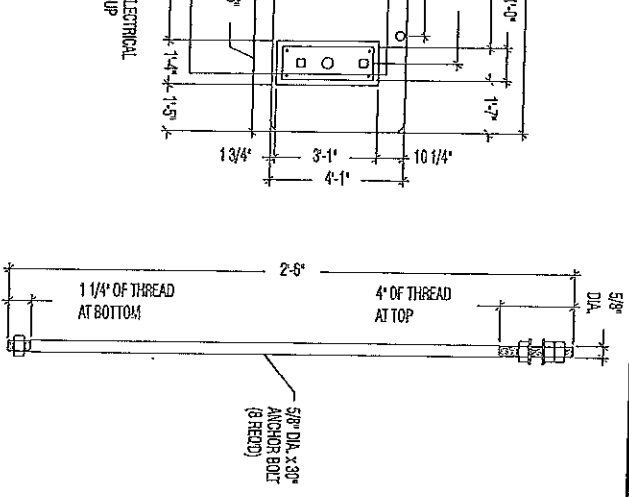
CUSTOMER APPROVAL

Customer Signature: _____ Date: _____
COPY, COLORS & SIZES

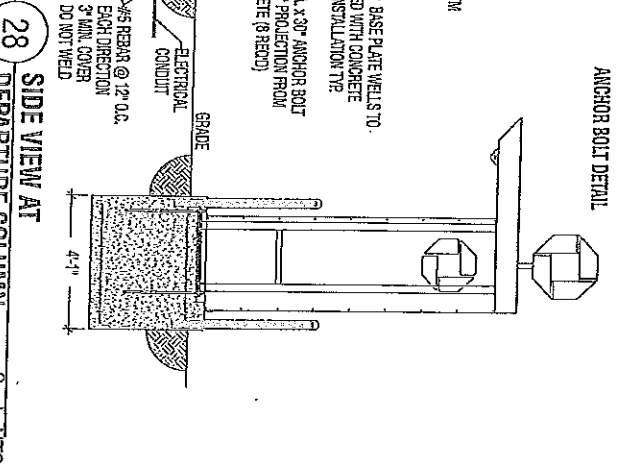
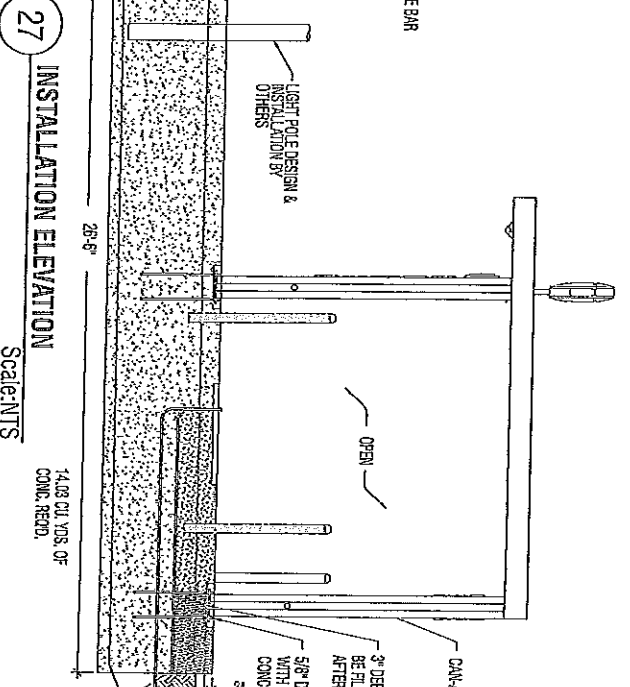
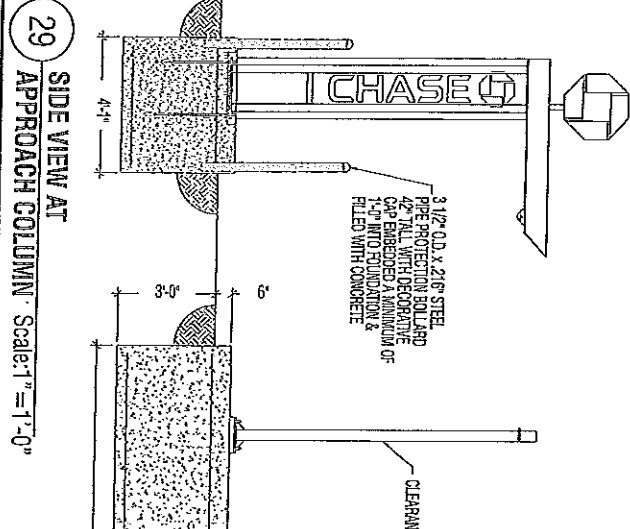
Signer does NOT provide primary electrical to sign location - RESPONSIBILITY OF OTHERS!

WHERE THE EXTREME FROST PENETRATION DEPTH REQUIREMENT IS GREATER THAN THE SPECIFIED DEPTH OF THIS FOUNDATION, THE FOUNDATION DESIGN SHOULD BE ALTERED TO MEET THE LOCAL FROST DEPTH REQUIREMENTS.

30 INSTALLATION PLAN VIEW
Scale: NTS



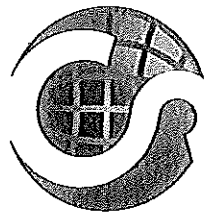
ANCHOR BOLT DETAIL



29 SIDE VIEW AT APPROACH COLUMN Scale: 1"=1'-0"

27 INSTALLATION ELEVATION Scale: NTS

28 SIDE VIEW AT DEPARTURE COLUMN Scale: NTS



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Date: 11/05/10
Subsponsor: Arthur Maxam
Coordinator: Cassie Flurry
Designer: J Gonzalez
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Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date
Customer Signature	Date

CUSTOMER APPROVAL

Customer Signature _____ Date _____

Customer Signature _____ Date _____

Customer Signature _____ Date _____

Customer Signature _____ Date _____

Customer Signature _____ Date _____

Work Order Number: _____

Drawing Number: _____

Sheet 20

11/05/10



Town of Discovery Bay

"A Community Services District"

AGENDA REPORT

Meeting Date

January 4, 2012

Prepared By: Rick Howard, General Manager
Submitted By: Rick Howard, General Manager *RH*

Agenda Title

Authorize contract for Public Access Ramp Replacement Project at 1800 Willow Lake Road

Recommended Action

Approve contract with Richard Leines, General Contractor, in the amount of \$12,331.00 to replace the public access ramp at 1800 Willow Lake Road and direct the General Manager to execute Contract Documents

Executive Summary

The public access ramp located in front of the District office building at 1800 Willow Lake Road is in need of substantial repair. The existing structure was built in 2003, is made of wood and has become rotten in many places. Additionally, the ramp has also become a tripping hazard as the lumber has separated, and the railings are unstable.

The proposed repairs include maintaining the concrete substructure and replace with all new vinyl decking and arm railings.

Staff has evaluated the cost of replacing the existing lumber structure as is; however, after further consideration it was determined that a vinyl or aluminum structure would be more cost effective in the long term. Due to cost considerations, vinyl was selected over aluminum.

Fiscal Impact:

Amount Requested \$12,331.00

Sufficient Budgeted Funds Available?: (If no, see attached fiscal analysis)

Prog/Fund # Category: Pers. Optg. Cap. -or- CIP# Fund#

Previous Relevant Board Actions for This Item

NA

Attachments

Proposal from Richard Leines, General Contractor; and Contract documents.

AGENDA ITEM: G-7



TOWN OF DISCOVERY BAY CSD

1800 Willow Lake Road, Discovery Bay, CA 94505
Telephone: (925) 634-1131 Fax: (925) 513-2705

CONTRACT FOR

Public Access Ramp Replacement Project for District Office at the Town of Discovery Bay C.S.D.

This CONTRACT is made and entered into this 4th day of January, 2012, by and between the Town of Discovery Bay Community Services District (hereinafter "Owner") whose address is 1800 Willow Lake Road Discovery Bay, CA 94505, and Richard Leins, General Contractor, P.O. Box 1395, Discovery Bay, CA 94505 (hereinafter "Contractor").

W I T N E S S E T H

The Owner is awarding this contract as submitted in the Contractor's bid proposal received December 16, 2011, in the amount of Twelve thousand three hundred thirty one dollars (\$12,331.00).

1. Contractor Agrees:

- a. To do all the Work and furnish all the labor, material, appliances, equipment and tools to complete the Work in accordance with the Scope of Work as noted in the bid proposal. See Exhibit "A" attached.
- b. To do and perform said Work diligently as directed by the Owner until completion is evidenced by written acceptance by the Owner.
- c. To start said Work after coordination with District Staff, but no less than thirty days working days after receipt of Notice to Proceed and Completion of all work in 14 Working days.
- d. To remedy, at his expense, any defects in the Work, which shall appear within a period of twelve (12) months from the date of the final acceptance of the Work.
- e. To do and perform the Work contemplated hereby and furnish all labor, material, appliances, equipment, tools and pay all taxes therefore, at the bid price specified in the Bid form submitted by the Contractor, a conformed copy of which is attached to and made a part of the Contract.

- f. To maintain during the life of the Contract, Workers' Compensation, Public Liability and Property Damage Insurance as provided in the General Conditions. Certificates of such insurance shall be delivered to the Owner. The Contractor must comply with Labor Code §3700.
 - g. Should the Contractor fail to complete the Work included in the Contract within the time limit agreed upon or such extensions thereof as may be granted, a deduction of One thousand dollars (\$50.00) per day will be made from amounts otherwise due the Contractor for each and every calendar day, or fraction thereof, that the work, or each stated portion, remains incomplete after the date set for its completion.
 2. The Owner will cause payment to be made to the Contractor for the Contract prices provided herein in the following manner:
 - a. On or about the tenth day of each month after the start of the Work, an amount equal to ninety percent (90%) of the value of all Work completed as of the 20th day of the preceding month, based on the quantities of Work completed, as determined by the Engineer at the unit prices stated, less the aggregate of all previous payments made to the Contractor.
 - b. Thirty-five (35) days after completion of the Contract and its acceptance by the Owner, the balance of the Contract price will be paid. Such final payment will not be made until completion of the entire Work and acceptance of the whole by the Owner.
 - c. Contractor may substitute securities in lieu of retained funds in accordance with Public Contracts Code Section 22300.
 3. It is further agreed by the parties that before each payment is made as provided above, receipts and releases of liens of all kinds for all labor and materials and all other indebtedness connected with the Work shall be presented to the Owner by the Contractor upon the request of the Owner.
 4. It is expressly understood and agreed that a waiver of any of the conditions or covenants of this Contract shall not be considered a waiver of any of the provisions hereof
 5. Contractor agrees to pay to each craft, classification or type of workman the prevailing wage determined by the State of California, Director of Industrial Relations, in the published wage scale determination, a copy of which is available at the Office of the Town of Discovery Bay CSD, and which the Town of Discovery Bay CSD, or the Engineer, if there is one, will post at the project site. Contractor agrees to comply with California Labor Code §§ 1777.5, 1776.
 6. It is mutually agreed and understood that the complete Contract shall consist of this Contract, and the following component documents, all of which are fully a part hereof as if herein set out in full, or if not attached, as if attached, and which together constitute the Contract Documents:
 - "Bid Proposal" (Attached – Exhibit "A")
 7. Where the terms and conditions of this Contract conflict with the General Conditions received by Contractor, the terms and conditions of this Contract shall control.

8. The provisions of California Labor Code Sections 1777.5 and 1777.6 shall apply to the employment of apprentices by Contractor or any subcontractor under him.
9. All provisions of the California Occupational Safety and Health Act of 1973 (CALOSHA), as amended, shall be adhered to.
10. The statutory provisions for penalties for failing to comply with the State of California wage and labor laws will be enforced, as well as that for failing to pay prevailing wages.
11. Eight hours labor constitutes a legal day's work.

IN WITNESS WHEREOF, the parties hereto have caused these presents to be executed in duplicate, on the day and year first above written.

TOWN OF DISCOVERY BAY Community Services District
1800 Willow Lake Road
Discovery Bay, CA 94505

BY: _____

TITLE: Richard Howard, General Manager

DATE: _____

CONTRACTOR: Richard Leines

BY: _____

TITLE: _____
Please print name and title

DATE: _____

Exhibit A

RICHARD LEINES

General Contractor #659833

P.O. Box 1395-Discovery Bay, Ca. 94505

Off (925) 516-1839 - Fax (925) 516-8264

Town of Discovery Bay CSD

Received

DEC 16 2011

Quote for ramp and rail 1800 Willow Lake Rd

- 1) Remove existing decking and dispose,
- 2) Remove existing rail but leave 4x4 posts and dispose,
- 3) Straighten inboard joist to improve alignment of rail at top of ramp,
- 4) Block joist at 4x4 posts as needed to stiffen post and rails,
- 5) Install new gray vinyl deck (approx) 300 sq. ft.
- 6) Install new vinyl rail (aprox) 100sq. ft.

Existing substructure to remain as substructure for reskin of decking with vinyl deck
(Premier Deck)

Work to commence Thursday after Town meeting and be completed before next meeting
(14 days) On or about Jan 2012.

Product to be as indicated to Frank Cramer Construction Manager.

Power and access to facility to be provided

Alternate door to be used by public during construction duration.

Total cost as described above to be \$12,331,00

Rick Leines

Quote 19 Dec. 2011

Cell# (925) 437-3013

NO BACK UP
DOCUMENTATION
FOR THIS AGENDA
ITEM # H

NO BACK UP
DOCUMENTATION
FOR THIS AGENDA
ITEM # I

NO BACK UP
DOCUMENTATION
FOR THIS AGENDA
ITEM # J

NO BACK UP
DOCUMENTATION
FOR THIS AGENDA
ITEM # K



Town of Discovery Bay

"A Community Services District"

AGENDA REPORT

Meeting Date

January 4, 2012

Prepared By: Rick Howard, General Manager
Submitted By: Rick Howard, General Manager *RH*

Agenda Title

Transmittal of Community Center Committee Final Report to the Board of Directors

Recommended Action

As necessary

Executive Summary

On March 16, 2011 the Board of Directors of the District appointed Directors Steele and Tetreault, and at-large Discovery Bay residents Bob Abbadie, Jim Mattison and Sean O'Toole to serve on the Community Center Committee. The Committee was created in an attempt to identify a suitable location, funding considerations, and programming opportunities for a Discovery Bay Community Center. As a result, a community wide assessment survey was conducted (survey results are attached and are also posted to the District's website at www.todb.ca.gov) and the results of that survey, visits to other neighboring community centers, presentations from professionals and input from the community resulted in the attached series of recommendations.

Fiscal Impact:

Amount Requested \$
Sufficient Budgeted Funds Available?: (If no, see attached fiscal analysis)
Prog/Fund # Category: Pers. Optg. Cap. -or- CIP# Fund#

Previous Relevant Board Actions for This Item

March 16, 2011 appointment of Community Center Committee

Attachments

Report and recommendations to Board of Directors
Community Wide Assessment Survey
Proposal from Lee-Jagoe Architecture Inc

AGENDA ITEM: L-1



TOWN OF DISCOVERY BAY

A COMMUNITY SERVICES DISTRICT

President - Kevin Graves • Vice-President - Chris Steele • Director - Brian Dawson • Director - Mark Simon • Director - Ray Tetreault

To: Board of Directors
From: Community Center Committee
Date: January 4, 2012
Subject: Recommendations of the Community Center Committee

At the January 22, 2011 Town of Discovery Bay Community Services Districts' Community Workshop, there were a number of topics that were discussed and that the Board of Directors wished to explore further. One of those items was the establishment of a Community Center Committee. It is the hope of the Board, and the community at large, that a community center can finally transition from dreams to reality. After almost twenty (20) years of on-and-off again starts and stops, challenges and roadblocks, it was the vision of the Board that this Committee would be able to navigate some of the many challenges that prior committees had previously faced, and for one reason or another, have been unable to overcome.

On March 16, 2011 the Board of Directors of the District appointed Directors Steele and Tetreault, and at-large Discovery Bay residents Bob Abbadie, Jim Mattison and Sean O'Toole to serve on the Community Center Committee.

The Committee conducted their first meeting on April 22, 2011 and has held monthly meetings since that time.

COMMUNITY CENTER HISTORY

The establishment of a Community Center in Discovery Bay has been a vision of the community since before 1990. There have been numerous attempts to reach consensus and identify a site for a community center, and over the years, at least four (4) different sites have been considered that were believed to be promising. However, with each site, a variety of issues transpired that derailed each of those efforts.

The Community Center Project has had a number of highly dedicated individuals committed to see the mission to its culmination. Those efforts have not gone unnoticed by the current Community Center Committee and to a large extent those efforts helped this Committee identify and develop its recommendations as identified later in this report.

Potential Community Center sites that have had prior consideration are:

1. **The "Gas Station":** This site referred to as the former "gas station" at the corner of Discovery Bay Boulevard and Sand Point Road. The property is currently owned by the Hofmann Family Trust and presently has an application for an eighty (80) unit residential subdivision on the site. This location was the site initially identified as the preferred site by previous committees. A series of architectural renderings were developed by the Discovery Bay Lions Club for this site that depicted a Community Center at that location.
2. **1520 Discovery Bay Boulevard:** This site, also presently owned by the Hofmann Family Trust, is an approximate 10,000 sq.ft office building that is partially occupied by tenants. The site would provide community center space capable of operating a facility that would meet the basic needs of the community, as well as provide office space for District Offices. However, this facility cannot accommodate large banquettes and there is limited room for kitchen preparation facilities. This location has been considered on two (2) different occasions, most recently in June 2010. The District commissioned an appraisal on the site and was in negotiations with Contra Costa County and the Hofmann Company to acquire the property when negotiations faltered due to the pending application of the eighty (80) residential units on other portions of the site.

3. **Discovery Bay Athletic Club:** The Discovery Bay Athletic Club, at 1601 Discovery Bay Boulevard, was considered as a potential community center site in 2000. The District was in negotiations to purchase the site; however, a price amenable to all parties was not reached. In September 2011, the Athletic Club site, approximately 10 +/- acres, has been listed by the owner and is presently for sale for \$2.3M.
4. **"The Twelve Lots":** As a part of the Conditions of Approval for Discovery Bay West between the Hofmann Company and Contra Costa County, there included a condition that a parcel of land be identified and set aside as a future Community Center site. The Hofmann Company identified and set aside a parcel, commonly known as the "The Twelve Lots". This approximate 2+/- acre parcel is located at the confluence of Newport Drive, Preston, and Berkshire Lane, and is directly across the street from Timber Point Elementary School. Although this site has a number of beneficial characteristics, the proximity to residential dwellings and increased neighborhood traffic make this site undesirable. There is a value to the "Twelve Lots" and it is anticipated that the value will be transferred to the District if the site is eventually designated residential.

It should be noted that the Board of Directors, at their meeting on November 2, 2011, directed staff and two (2) members of the Board to meet with Contra Costa County officials and the Hofmann Company to discuss considering an alternate location to the "twelve lots" for the community center site. The outcome of these negotiations will more than likely play a role in the District's ability to identify a suitable community center site.

CURRENT FINANCIAL STATUS

Financial considerations have always been a concern – how will construction funds be raised? What about ongoing facility operations? It is widely known that the District has limited resources to operate a Community Center at this time. The cost of land, construction, and ongoing operations are major hurdles that must be overcome. While there are currently funds available that could provide an opportunity to "land bank" a site, the fact remains that construction and ongoing operational expenses pose the biggest roadblock to a successful outcome.

Based upon assumptions obtained from current public agency construction projects and architects familiar with public facilities similar to the one envisioned for Discovery Bay, a range of \$200/sq.ft to \$300/sq. ft has been identified for sizing and reference purposes. Based upon the type of construction techniques utilized and the overall appearance packages selected, the cost of the facility could vary widely. It is anticipated that a 10,000 sq.ft to 20,000 sq. ft facility will be necessary to accommodate the variety of services and programming identified by the committee. Estimated facility costs for planning purposes are identified in the following table using the midrange square footage. It should be noted, however, that these costs take into account requirements placed on government entities pursuant to the California Public Contract Code, including the requirement to pay prevailing wage which will result in higher project costs than commonly seen in the private sector.

Construction—15,000 sq. ft @ \$200/sq. ft*	\$3.0M	Construction – 15,000 sq. ft @ \$300/sq. ft*	\$4.5M
Soft costs (including design) @ 30%	\$0.9M	Soft costs (including design) @ 30%	\$1.35M
Construction Management @ 5%	\$0.150M	Construction Management @ 5%	\$0.225M
FFE @ \$15/sq.ft	\$0.225M	FFE @ \$15/sq.ft	\$0.225M
Project Contingency	\$0.210M	Project Contingency	\$0.315M
Total	\$4.485	Total	\$6.615M

* Includes parking at 4/1,000 s/f, so 60 cars at 350 sq. ft/car (21,000 s/f of parking area, lighting, and landscape).

DESIGN AND CONSTRUCTION FINANCING:

As part of the aforementioned Conditions of Approval for Discovery Bay West, the Hofmann Company was also obligated to deposit one-half (½) of the construction costs that were predicated on the construction of a 6,695 sq.ft facility at a cost not to exceed \$1.25M. Consequently, the Hofmann Company deposited a bond at the County with an escalator clause that has increased the bond amount from the initial \$625,000 to almost \$900,000.

In 2008, voters passed Measure WW, sponsored by the East Bay Regional Park District that would continue to provide long term funding for park infrastructure for years to come. The Town of Discovery Bay CSD has approximately \$430,000 identified in Measure WW bonds for the Community Center Project.

The developer of the Ravenswood subdivision, D.R. Horton, committed to the Community Center Project with a contribution of \$525,000 towards a future facility.

On August 24, 2011, representatives of Pantages, a planned two-hundred and ninety-two (292) unit residential subdivision attended the Community Center Committee Meeting and committed to contributing \$2,500 per residential unit towards the Community Center once their project has been approved. This would provide an additional \$730,000 if all two-hundred and ninety-two (292) units are eventually built. Additional funding can also be realized from smaller in-fill projects as the economy improves and those projects are approved and move forward.

The following table identifies financial resources that are currently available to be utilized for construction and/or operation of a Community Center.

Source of Funds	Amount of Funds*	Present Location of Funds
Measure WW Bond Proceeds	\$430,000	East Bay Regional Park District
Ravenswood Development	\$525,000	District Managed (ECC Bank)
The Hofmann Company	\$900,000	Bond at County
	\$1,855,000	* Approximate

As previously discussed, there is a financial value of the "Twelve Lots" to the District which requires consideration. At this time, that value of that parcel has not been identified nor has it been studied. It should be noted, however, that Survey respondents did not favor the "Twelve Lots" as a preferred site.

Consequently, it would not be unrealistic to anticipate an additional \$1.0M in future development related contributions towards the project. This would provide an approximate total of \$3.0M be allocated to the project.

This does leave a significant overall financial shortfall for land acquisition and construction costs.

OPERATIONS AND MAINTENANCE FINANCING

After a review of financials of other existing Community Centers the Committee believes that programming and class fees, as well as facility rentals, will provide a funding source capable of offsetting the expenses of those activities. However, there will not be sufficient funding to operate the facility itself.

The operations, maintenance and capital improvement costs to support and maintain the facility will pose significant long-term financial challenges that those revenues will be insufficient to cover. It will be necessary for the District to identify a funding source that meets ongoing facility needs.

A NEW VISION FOR DISCOVERY BAY

It is anticipated that the Community Center will become an important integral component of the recreational fabric of the community, complementing the variety of other recreational activities currently available to the public. By offering programs, services and activities intended to attract all age levels of the community, the center would become a destination to learn, explore and celebrate. It is envisioned that the Center will become a focal point of pride for the community where residents of all ages will be able to enjoy activities and utilize its services in a safe, comfortable and welcoming environment. Additionally, the Center will be operated in a manner that provides the greatest flexibility in providing cost efficient, affordable, and community appropriate programming.

In an effort to judge the community's interest in a Community Center and its potential location and services offered, the Committee created a community needs survey that was distributed to the community electronically (see attached survey results). The survey was advertised in the local media, signs were placed, and residents were encouraged by word of mouth to take the survey.

On June 8, 2011 the survey went "Live" and stayed online until September 30, 2011. There were four-hundred and fifty-seven (457) respondents that started the survey, and four-hundred (400) completed the survey. The survey results are discussed in further detail later in this report.

Additionally, the Community Center Committee, in an effort to better understand and become more familiar with the relationship between the District, The Hofmann Company and Contra Costa County, invited Ms. Catherine Kutsuris of the Contra Costa County Department of Conservation and Development to address the Committee.

Committee members also visited a number of neighboring community centers to obtain a feel for the types of facilities that are located within our region, and the types of services and programs offered to the community at those facilities.

The Committee was also provided with a presentation on differing types of building techniques, from brick and mortar to prefabricated facilities by local architect Mark Lee.

Mr. Robert Zuer, an expert in establishing Community Foundations, gave a presentation to the Committee that provided valuable information that might make a community foundation a feasible fund raising mechanism for this project. This 501(c) 3 Foundation, if created, would become the fundraising arm of the Center, providing the opportunity to raise funds in a tax deductible manner from residents and corporate partners alike.

The Community Center is intended to be financially self sufficient. Room rentals will be made available to the community, and activities and recreational programming will be on a pay for use basis, consistent with the "Best Practices" procedures utilized in most communities. Additionally, clubs, groups and other parties may rent all or a part of the facility for special events.

RESULTS OF THE COMMUNITY ASSESSMENT SURVEY:

Based upon the efforts of the Community Center Committee, and information obtained from experts, site visits, and the Community Assessment Survey, the following recommendations are being respectfully forwarded to the Board of Directors of the Town of Discovery Bay Community Services District for consideration. The Committee would like to note to the Board and the Public that the following recommendations were voted upon individually and that each recommendation was unanimously supported by the Committee. The Recommendations are assembled into the following four (4) categories; Location, Funding Considerations, Facility Needs, and Planning and Other Considerations.

A. LOCATION

Recommendation A1:

The Community Center Committee recommends to the Board of Directors that the preferred location for the Community Center be the intersection of Discovery Bay Boulevard and Willow Lake Road/Sand Point Road, and more specifically, the site currently known as the Discovery Bay Athletic Club. This location, 10+/- acres, is presently for sale and offers the right opportunity at the right time to secure the necessary land for the eventual location of a Community Center, while offering immediate benefits to the community based on the existing facilities. The Community Center Committee encourages the Board of Directors to explore the possibility of acquiring this site in an expeditious but financially prudent manner.

Should the Board of Directors not be able to negotiate terms on the entire parcel, the Community Center Committee recommends that the Board of Directors attempt to purchase just the vacant portion of that site at the corner of Discovery Bay Boulevard and Willow Lake Road. If neither of those parcels is available, then the Community Center Committee recommends attempting to purchase all or a portion of the vacant land across the street at the corner of Discovery Bay Boulevard and Sand Point Road.

Given the limited amount of funds currently available today, the site should offer sufficient space for future expansion, as the community itself will inevitably grow, and with that growth, should come developer funds to support expansion.

The recommendation for these locations are supported by the survey results, which showed a strong preference for this general location, with more than twice as many respondents saying they "love it" versus any other location. Even residents of Discovery Bay West generally found this location to be better than most of the other alternative locations.

B. FUNDING CONSIDERATIONS

Recommendation B1:

The Community Center Committee recommends to the Board of Directors that the Center be as self-supporting as possible and that financial models be developed to assist in this effort in order to identify and determine long-term operational costs and expenses.

From the Committee's review of financials from surrounding Community Centers it is clear that the centers are typically not self-supporting from user-fees, class fees, and facility rentals alone. A reasonably well-run center should be self-supporting in terms of staff, supplies, and other direct expenses; however, these fees did not appear to be sufficient to support costs associated with the construction of the facilities or their ongoing maintenance and repair. To that end, it will be very important for the Board of Directors to identify funds for landscaping, building repairs, and long-term capital expenditures related to mechanical equipment replacement.

Recommendation B2:

The Community Center Committee recommends to the Board of Directors that a community wide assessment be considered for construction, ongoing operations, maintenance, and capital replacement costs.

Roughly 60% of survey respondents indicated that they would be willing to pay a parcel tax on their property, and 46.7% indicated they would be willing to pay \$100 annually as a dedicated revenue source to the Community Center for ongoing operations.

The Committee acknowledges the lack of a local business base that would generally help financially support a project such as this in a more economically diverse community. As Discovery Bay is predominately a residential community with limited commercial opportunities, the Committee believes the primary method of providing the necessary funding to acquire land, construct and operate a Community Center will have to come from the funds previously identified, public support (donations), and regrettably, a parcel tax.

Recommendation B3:

The Community Center Committee recommends to the Board of Directors that there be a Community Foundation created to allow 501(c) 3 tax charitable donations from individuals, trusts, and business the opportunity to donate towards the construction or ongoing operations of the facility in a convenient manner.

The Community Foundation should be established in a cost efficient manner intended to maximize contributions and limit exposure to consultant costs. The Foundation should only be established once the project budget has been fully authorized by the Boards of Directors and the primary sources of funding have been identified.

C. FACILITY NEEDS

Recommendation C1:

The Community Center Committee recommends to the Board of Directors that the facility offer a minimum of three (3) classrooms suitable for holding a variety of class activities. Rooms should be of various configurations including: at least one (1) fitness, dance, aerobics oriented room, likely with one (1) mirrored wall and appropriate flooring; at least one (1) training room with a podium and projection screen and training room style desks; and at least one (1) arts and crafts room with supply cabinets, sinks and an easy to clean hard surface floor.

Classes were the number one activity sought by respondents to the survey. The most sought after classes included: cooking (see kitchen recommendation below); fitness / aerobics, CPR / safety, yoga / tai chi / pilates, nutrition/health, art / painting, boating, gardening, and language. In addition a review of financials from neighboring community centers show that classes produce the most self-sustaining revenue, partially because they are easy to schedule or cancel based on demand, and user fees offset all related expenses outside of building costs or maintenance.

Recommendation C2:

The Community Center Committee recommends to the Board of Directors that the facility offer an auditorium with ancillary facilities able to accommodate three-hundred (300) for town meetings, weddings, dinners, and other types of formal and informal events. The auditorium should be divisible through partition walls into at least three (3) spaces. Ancillary facilities should include a modest stage area, a backstage area suitable for basic on-stage preparation, and a room that could function in multiple applications, including that of a bride's room. The auditorium should have ample storage for chairs and folding dining tables such that the room can easily be reconfigured for various event types.

Respondents to the survey considered an Auditorium to be a "very important" part of a community center. In addition a divisible auditorium creates a variety of rental opportunities that are clearly an important revenue source for the ongoing operation of any community center.

Recommendation C3:

The Community Center Committee recommends to the Board of Directors that the facility include a "caterer's" kitchen with sufficient accommodations for food warming, limited cooking, storage, ice production, with sufficient space and appropriate layout to support food preparation for three-hundred (300), as well as the ability to host cooking classes.

Survey respondents selected cooking classes more often than any other class clearly showing local demand to support the facility. A kitchen is also an important revenue source as it is required in order to see full potential rental use of an auditorium.

Recommendation C4:

The Community Center Committee recommends to the Board of Directors that the facility provide adequate space for leisure activities such as card playing, reading, and entertainment opportunities. While these activities are not directly revenue generating in the same manner as classes, a kitchen or an auditorium; the Committee believes they support the very concept of a Community Center by providing areas for seniors and others to gather and socialize.

Recommendation C5:

The Community Center Committee recommends to the Board of Directors that the Community Center include a senior citizen program component. Seniors will be a key user of the facility during day time hours and age appropriate programming, classes, and activities are an integral part of a successful Community Center.

Recommendation C6:

The Livermore Community Center shared facilities with other District functions, consolidating the staff and all operational functions into a central location. Livermore staff felt this lowered costs when compared to building and operating multiple facilities. The Community Center Committee recommends to the Board of Directors that they consider similar opportunities to consolidate facilities, so long as the construction and operational expenses of those facilities does not divert Community Center funds for those functions.

Recommendation C7:

The Community Center Committee recommends to the Board of Directors that the facility include a conference room suitable of accommodating twelve (12) individuals, as well as audio visual and networking capabilities. The conference room will be able to accommodate small home based businesses, service organizations, and the community, among others, with the opportunity to utilize a conference room on a user fee platform on an "as necessary" basis.

D. PLANNING AND OTHER CONSIDERATIONS

Recommendation D1:

The Community Center Committee recommends to the Board of Directors that the facility be designed in the most cost effective manner, acknowledging the fact that the facility will be heavily used in a commercial type environment, and that long lasting construction techniques be utilized to provide a facility with a minimum fifty (50) year life span.

Recommendation D2:

The Community Center Committee recommends to the Board of Directors that a space plan be developed that takes into account the actual space needs necessary to meet the mission and service plan of the center. A well thought out space plan will incorporate the necessary components to be included in the Community Center. Once complete, the space plan model will then be utilized to estimate the overall project cost as well as provide the platform for final design and construction documents.

Architect Mark Lee of Lee • Jagoe Architecture, inc. has provided a proposal for preliminary site planning and floor plan design based upon program requirements. Mr. Lee performed the initial design drawings for the Community Center that were previously developed on behalf of the Discovery Bay Lion's Club. The cost to perform this important first function is \$5,250. A copy of Mr. Lee's proposal is attached. The Committee recommends that the Board authorize staff to enter into a professional services agreement with Lee • Jagoe Architecture Inc. to facilitate this portion of the project.

Recommendation D3:

The Community Center Committee recommends that the Board of Directors identify and engage the necessary resources and experts to: 1) analyze the feasibility of a community wide parcel assessment, and ultimately develop, promote and see that assessment through to passage; 2) oversee space planning, architectural requirements, construction plans and ultimately construction of the center; and 3) further negotiations on the acquisition of the preferred site and resolve the disposition of the "Twelve Lots" parcel.

Recommendation D4:

The Community Center Committee recommends to the Board of Directors that the facility offer programming consistent with the survey results, and that the center regularly adjust programming to meet changing needs within the community. Nutrition and health related classes are also an ongoing and important component of a successful Community Center.

SUMMARY

The Community Center Committee recognizes the difficulties that have been faced by prior Community Center Committees in their efforts to locate a Community Center in Discovery Bay. With constrained funding being the Achilles heel of the Community Center Project, this committee understands and is well aware of the difficult decisions that must be made in order to transition this project from a vision to a reality.

Consequently, the Committee sees no other alternative of funding the center other than assessing the community for the facility and its ongoing operational costs.

Since the Contra Costa County Local Agency Formation Commission (LAFCO) directed the District to provide recreational opportunities for our community, and as the survey results indicate, there is a need and a desire to have this type of community asset. It is the Committee's sincere hope that the Board continue to pursue this goal.

The Community Center Committee would like to acknowledge the efforts of those communities that hosted tours of their facilities, Architect Mark Lee for his valuable input, Community Foundation specialist Bob Zuer for his guidance, and Catherine Kutsuris of Contra Costa County for all of her efforts on behalf of the Town of Discovery Bay.

1. Please rate each of the sites shown above:

	I hate it	Not Ideal	Just ok	Pretty good	I love It	Response Count
1.	8.5% (37)	9.9% (43)	9.9% (43)	19.7% (86)	52.1% (227)	436
2.	26.0% (108)	26.2% (109)	22.4% (93)	18.3% (76)	7.2% (30)	416
3.	43.7% (185)	25.5% (108)	11.3% (48)	11.8% (50)	7.6% (32)	423
4.	17.1% (72)	19.7% (83)	17.3% (73)	26.1% (110)	19.9% (84)	422
5.	25.3% (107)	20.3% (86)	16.3% (69)	25.8% (109)	12.3% (52)	423
Somewhere else (please specify):						43
answered question						439
skipped question						18

2. Please let us know both how important you feel offering this activity to the community it, as often you believe your family would use it.

How important is this activity to the community

	Not Important	Nice to have	Very Important	R
Arts & Crafts room	27.2% (99)	56.0% (204)	16.8% (61)	
Baseball	34.3% (120)	41.7% (146)	24.0% (84)	
Basketball	29.9% (104)	48.0% (167)	22.1% (77)	
Batting cages	45.8% (159)	42.9% (149)	11.2% (39)	
Bike Park	34.7% (123)	41.0% (145)	24.3% (86)	
Bocce Ball	31.7% (115)	53.2% (193)	15.2% (55)	
Card room	48.1% (169)	44.7% (157)	7.1% (25)	
Childcare / daycare	37.1% (130)	41.4% (145)	21.4% (75)	
Classes (arts, CPR, boating)	7.1% (27)	41.2% (156)	51.7% (196)	
Dog Park	36.7% (135)	33.7% (124)	29.6% (109)	
Fitness (cardio / karate / dance)	17.5% (65)	45.6% (169)	36.9% (137)	
Fitness (weights / equip)	31.4% (112)	44.3% (158)	24.4% (87)	
Football	61.4% (207)	30.9% (104)	7.7% (26)	
Golf cages	57.8% (199)	34.0% (117)	8.1% (28)	
Kitchen	22.8% (82)	35.3% (127)	41.9% (151)	
Lap Pool	32.7% (115)	42.6% (150)	24.7% (87)	
Meeting rooms	13.6% (50)	36.0% (133)	50.4% (186)	
Play Structure	25.1% (90)	36.5% (131)	38.4% (138)	
Racquet / wally ball	49.4% (167)	44.4% (150)	6.2% (21)	
Recreational Pool	24.2% (89)	41.6% (153)	34.2% (126)	

Running Track	45.4% (154)	41.9% (142)	12.7% (43)
Shuffleboard	53.8% (182)	42.6% (144)	3.6% (12)
Skate Park	38.4% (137)	37.5% (134)	24.1% (86)
Splash Area	39.5% (139)	42.9% (151)	17.6% (62)
Tennis	43.4% (150)	46.2% (160)	10.4% (36)
Theater / Auditorium / Hall	15.3% (56)	44.7% (163)	40.0% (146)

How often would your family use it

	Never	Yearly	Monthly	Weekly	Daily	R
Arts & Crafts room	37.5% (121)	20.4% (66)	27.9% (90)	13.9% (45)	0.3% (1)	
Baseball	52.0% (159)	12.7% (39)	18.0% (55)	16.0% (49)	1.3% (4)	
Basketball	53.7% (161)	12.7% (38)	18.3% (55)	13.3% (40)	2.0% (6)	
Batting cages	56.4% (168)	9.1% (27)	19.5% (58)	14.1% (42)	1.0% (3)	
Bike Park	41.5% (129)	5.8% (18)	16.4% (51)	24.8% (77)	11.6% (36)	
Bocce Ball	36.4% (115)	13.9% (44)	32.3% (102)	16.1% (51)	1.3% (4)	
Card room	58.9% (178)	9.6% (29)	22.8% (69)	7.3% (22)	1.3% (4)	
Childcare / daycare	74.4% (221)	4.4% (13)	6.4% (19)	7.7% (23)	7.1% (21)	
Classes (arts, CPR, boating)	12.9% (42)	22.1% (72)	41.4% (135)	20.9% (68)	2.8% (9)	
Dog Park	48.9% (156)	2.5% (8)	8.8% (28)	20.7% (66)	19.1% (61)	
Fitness (cardio / karate / dance)	22.2% (72)	5.2% (17)	17.3% (56)	37.0% (120)	18.2% (59)	
Fitness (weights / equip)	37.5% (115)	3.3% (10)	11.4% (35)	30.6% (94)	17.3% (53)	
Football	76.9% (216)	8.2% (23)	8.9% (25)	5.3% (15)	0.7% (2)	
Golf cages	57.2% (167)	9.2% (27)	14.7% (43)	17.8% (52)	1.0% (3)	
Kitchen	32.0% (97)	37.0% (112)	22.8% (69)	6.9% (21)	1.3% (4)	
Lap Pool	40.5% (122)	5.0% (15)	15.3% (46)	22.6% (68)	16.6% (50)	
Meeting rooms	24.7% (77)	29.2% (91)	34.0% (106)	10.6% (33)	1.6% (5)	


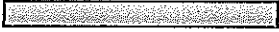













Play Structure	52.3% (160)	7.8% (24)	12.4% (38)	19.3% (59)	8.2% (25)
Racquet / wally ball	61.3% (174)	6.7% (19)	18.0% (51)	12.0% (34)	2.1% (6)
Recreational Pool	32.4% (104)	7.5% (24)	20.9% (67)	29.3% (94)	10.0% (32)
Running Track	52.4% (151)	3.1% (9)	16.7% (48)	17.4% (50)	10.4% (30)
Shuffleboard	61.8% (175)	11.0% (31)	20.5% (58)	6.4% (18)	0.4% (1)
Skate Park	59.9% (181)	5.3% (16)	9.3% (28)	13.2% (40)	12.3% (37)
Splash Area	49.3% (145)	9.2% (27)	16.3% (48)	20.1% (59)	5.1% (15)
Tennis	56.7% (164)	12.8% (37)	11.8% (34)	16.3% (47)	2.4% (7)
Theater / Auditorium / Hall	18.1% (56)	24.8% (77)	44.2% (137)	11.3% (35)	1.6% (5)

Other activities you'd like to see (please specify)

answered question

skipped question

3. Which of the following classes would you be interested in attending?

		Response Percent	Response Count
Art / Painting		44.6%	172
Boating		44.3%	171
Bridge / Cards		20.5%	79
Cooking		61.4%	237
CPR / Safety		60.4%	233
Dance		46.6%	180
Fitness / Aerobics		61.1%	236
Gardening		43.3%	167
Gymnastics		20.7%	80
Language		31.9%	123
Career & Life Skills		28.8%	111
Martial Arts		25.4%	98
Nutrition / Health		44.8%	173
Parenting		12.7%	49
Yoga / Tai Chi / Pilates		52.3%	202
	Other (please specify)		39
	answered question		386
	skipped question		71

4. Please tell us which of the following you would consider contributing for the BUILDING and DEVELOPMENT of the community center?

	Absolutely not	Only if truly necessary	Yes, but within limits	I'd generously support this	Response Count
Donating your time	12.9% (50)	15.0% (58)	56.6% (219)	15.5% (60)	387
Donating your money	29.9% (115)	31.8% (122)	36.5% (140)	1.8% (7)	384
A parcel tax on your property	38.9% (151)	27.6% (107)	26.8% (104)	6.7% (26)	388
				answered question	398
				skipped question	59

5. Please tell us which of the following you would consider contributing for the ONGOING OPERATION of the community center?

	Absolutely not	Only if truly necessary	Yes, but within limits	I'd generously support this	Response Count
User Fees (classes, facility rentals, etc)	7.4% (29)	18.2% (71)	54.0% (211)	20.5% (80)	391
Donating your time	14.5% (55)	21.8% (83)	50.5% (192)	13.2% (50)	380
Donating your money	36.6% (137)	31.8% (119)	29.1% (109)	2.4% (9)	374
A parcel tax on your property	41.3% (157)	27.1% (103)	26.1% (99)	5.5% (21)	380
				answered question	397
				skipped question	60

6. If you supported the idea of a parcel tax in either of the questions above, how much per year would you be willing to contribute?

		Response Percent	Response Count
\$50		32.8%	80
\$100		46.7%	114
\$250		16.8%	41
\$500		3.7%	9
answered question			244
skipped question			213

7. Please tell us any additional funding ideas you might have:

	Response Count
	74
answered question	74
skipped question	383





8. Do you live in Discovery Bay?

		Response Percent	Response Count
Yes, Full Time		94.3%	379
Yes, Part Time		5.5%	22
No		0.2%	1
answered question			402
skipped question			55



9. Which area of Discovery Bay do you live in?

		Response Percent	Response Count
Balboa Cove	<input type="checkbox"/>	1.3%	5
Centex	<input type="checkbox"/>	2.8%	11
Cornell Park	<input type="checkbox"/>	1.8%	7
Country Club	<input type="checkbox"/>	14.2%	55
Cypress Landing	<input type="checkbox"/>	2.3%	9
Deepwater	<input type="checkbox"/>	38.8%	150
Discovery Bay West	<input type="checkbox"/>	4.7%	18
Harbor Bay Condos	<input type="checkbox"/>	1.6%	6
Lakeshore	<input type="checkbox"/>	10.6%	41
Lido Circle Condos		0.0%	0
Marina Circle Condos	<input type="checkbox"/>	1.8%	7
Newport Landing	<input type="checkbox"/>	1.6%	6
Ravenswood	<input type="checkbox"/>	2.3%	9
Sand Bay Isle	<input type="checkbox"/>	1.3%	5
The Lakes	<input type="checkbox"/>	7.8%	30
Willow Lake	<input type="checkbox"/>	7.2%	28
Other (please specify)			22
answered question			387
skipped question			70



10. What age are you?

		Response Percent	Response Count
Under 18		0.0%	0
18-25		0.5%	2
25-40		19.9%	80
40-65		60.8%	245
65 and over		18.9%	76
answered question			403
skipped question			54

11. Are you married?

		Response Percent	Response Count
Yes		82.5%	330
No		17.5%	70
answered question			400
skipped question			57

12. Do you have children at home?

		Response Percent	Response Count
Yes		44.1%	177
No		55.9%	224
answered question			401
skipped question			56

13. What ages are your children? (check all that apply)

	Response Percent	Response Count
Baby (0-1) <input type="checkbox"/>	8.8%	22
Toddler (2-3) <input type="checkbox"/>	8.8%	22
Pre-schooler (4-5) <input type="checkbox"/>	15.5%	39
School aged (6-9) <input type="checkbox"/>	22.3%	56
Pre-teen (10-12) <input type="checkbox"/>	23.5%	59
Teenager (13-18) <input type="checkbox"/>	20.7%	52
Adult (18+) <input type="checkbox"/>	39.0%	98
	answered question	251
	skipped question	206

14. If you have any additional comments regarding the community center please share them here:

	Response Count
	146
answered question	146
skipped question	311

Page 2, Q1. Please rate each of the sites shown above:

1	I good selection would be at the entrance to Discovery Bay. This is the empty lot on the corner of Discovery Bay Blvd and Hwy 4 across from the business park.	Sep 29, 2011 10:40 AM
2	discovery bay blvd. between Hyway 4 and clipper	Sep 28, 2011 3:07 PM
3	Clubhouse site	Sep 26, 2011 2:57 PM
4	If someone has difficulty reading a map they cannot effectively rate the sites....This map is difficult to read.	Sep 19, 2011 1:51 PM
5	Why do we need one?	Sep 18, 2011 2:57 PM
6	We live in the Lakes and would love it if we had something convenient for us. Please consider something central for EVERYONE. Thanks	Sep 16, 2011 1:42 PM
7	How about across the street from the SteakHouse?	Sep 16, 2011 1:13 PM
8	Number one is more centrally located to walk to.	Sep 16, 2011 7:33 AM
9	The end of Point of Timber Road?	Sep 15, 2011 1:16 PM
10	First of all, this isn't a very good way to rate from only a scanty map. What are the street name locations & property it sits on, can't tell? I feel we should keep DB a small community, which is the reason most of us moved out here, to escape the rat race. We don't need anything fancy or overpriced. Just remodel the existing, original shopping center on DB Blvd.! There's a large empty office space that is all DB really needs. We're a small town, & can't afford to pay outrageous prices on some overpriced new facility. Bring back the original shopping center, that's the real DB, the we should be!	Sep 14, 2011 4:37 PM
11	Regatta park ... not good at all	Sep 14, 2011 10:50 AM
12	Ay place that will NOT put more traffic on New Port Dr.!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!Going to or from Cewnter!	Sep 13, 2011 3:21 PM
13	I do not think that having it in the older part of Discovery Bay or the Western (newer) part of Discovery Bay is ideal because those two parts of town do not seem to live cohesively. Also it will not be accessible to the kids and some adults if it is in either on of those sections. However if put near the grocery store that seems to be more central to all areas of our developments. We really need a downtown or "center".	Sep 12, 2011 5:54 PM
14	Cannot access the check circles so my ranking is 1. - love it 2. - not ideal (too far away from main community 3. - hate it...way out of the way 4. - just ok 5. - pretty good	Sep 12, 2011 4:44 PM
15	Come on...map is hard to read.	Sep 11, 2011 8:48 PM
16	The end of Point of Timber Rd with a view of the waterway.	Aug 14, 2011 6:26 PM
17	Can't read the map, no street locations! If I were to suggest one, it would be on the corner of D.B. Blvd. and Sand Point Road.	Aug 13, 2011 12:35 PM
18	none	Jul 30, 2011 2:55 PM

Page 2, Q1. Please rate each of the sites shown above:

19	The parcel of land to the immediate left as you enter Discovery on Discovery Bay Blvd,	Jul 30, 2011 12:12 PM
20	We don't need a community center. Brentwood has a adequate one we can use for a reasonable cost and OUR dues and taxes won't increase if we use Brentwood.	Jul 30, 2011 10:09 AM
21	I think the center is a natural at location 1. This is a central location and this center is in need of an attraction.	Jul 30, 2011 9:48 AM
22	Need area for building and outside space for assembly and enjoyment...	Jul 29, 2011 4:10 PM
23	Need to take parking in to account and increased traffic. Putting it on Bixler would take care of those issues.	Jul 28, 2011 4:23 PM
24	In general, I feel that the community center should be located in an area that is easily accessible to BOTH DB West & DB "proper"	Jul 28, 2011 9:48 AM
25	The corner of Discovery Bay Blvd. and Clipper Dr.	Jul 27, 2011 12:21 PM
26	Point of Timber & Bixler	Jul 25, 2011 6:54 PM
27	Where are these places? No clues given at all. Who is responsible for this? It needs to be delineated for those of us who are not familiar with the map.	Jul 25, 2011 5:33 PM
28	Such unprofessional language - "I loveit/hate it." C'mon. "Ideal/Not Ideal" would have been enough.	Jul 24, 2011 2:02 PM
29	It's hard to tell where these locations are as the map is not clear.	Jul 24, 2011 11:06 AM
30	Pantages Property. Create the community center as a boat in facility as well!!	Jul 23, 2011 4:00 PM
31	The Discovery Bay Blvd lot across the street from the Steakhouse. Near the entrance to Discovery Bay.	Jul 23, 2011 3:55 PM
32	Maybe different locations for different facilities I Example: Lap pool/ fitness one area-- card room, child care, kitchen, another area. What ever works best and makes sense !! It doesn't all have to be in one spot only.	Jul 23, 2011 12:13 PM
33	If there is parking available, any site would be ok. Let's get going - we've been waiting many years!	Jul 23, 2011 7:29 AM
34	entrance to Disco Bay (at highway 4)	Jul 22, 2011 4:37 PM
35	what about the corner of Discovery Bay bld and Clipper across from the current Steak House on the south west corner open field?	Jul 22, 2011 1:49 PM
36	to have the community center anywhere outside of the original Discovery Bay is a huge insult to the many of us who have been patiently waiting---even before the Lakes and Lakeshore were BUILT.	Jul 19, 2011 9:44 PM
37	Empty property when u come in across from the steakhouse.	Jul 19, 2011 9:23 PM
38	The community center needs to be in the central part of Discovery Bay not along	Jul 18, 2011 6:58 AM

Page 2, Q1. Please rate each of the sites shown above:

the fringes. It will get more use and elements like security will be much easier if centrally located.

- | | | |
|----|---|-----------------------|
| 39 | I suggested a ferry boat a few years ago and was shot down without the CSD willing to do a feasibility study. Why not do a feasibility study or at least have CSD directors go see what Durafame did with their headquarters in Stockton. | Jul 16, 2011 3:36 PM |
| 40 | This map doesn't make sense as you cannot tell what streets the red dots are on. If you could provide a larger map with visible street names it would help. | Jul 16, 2011 9:20 AM |
| 41 | North West corner of HWY4 @Discovery Bay Blvd. Also, the DB Athletic Club would be a good starting point...though the location is far from many in the community. | Jul 15, 2011 5:10 PM |
| 42 | Cornel Park | Jul 12, 2011 10:38 AM |
| 43 | Find out what area the majority of tax revenue comes from, and base it on the people paying the most for this resource. | Jun 29, 2011 2:27 PM |

Page 3, Q1, Please let us know both how important you feel offering this activity to the community it, as well as often you believe your family would use it.

1	media production facility	Oct 2, 2011 1:40 AM
2	Laser Tag for the teens, or some other activity they would enjoy (and keep them out of trouble). Computer classes for grades 4 and up. Perhaps you could offer some of the same classes that are offered by the Brentwood Parks and Recreation Department. They certainly offer an impressive range of activities.	Sep 29, 2011 11:18 PM
3	swimming pool and club house (with kitchen) for meetings/cards/party/ classes / exercise room for cardio & w eights with outdoor activities like racuet-hand ball- bocce	Sep 28, 2011 3:29 PM
4	Having Rec Classes by a art teacher, tennis teacher activities for yung and old	Sep 27, 2011 4:10 PM
5	shop, woodworking	Sep 27, 2011 1:25 PM
6	Facilities for birthday parties.	Sep 27, 2011 8:21 AM
7	A very nice Restaurant adjacent to theater/hall	Sep 26, 2011 3:11 PM
8	Homework - Study Room, Mommy and Me Classes	Sep 26, 2011 10:47 AM
9	Community events such as haunted house art shows etc. Picnic space, walking paths, gallery or exhibit space.	Sep 22, 2011 11:25 PM
10	Soccer Field	Sep 22, 2011 9:16 PM
11	No dog park! It creates noise and mess - put your dog on a leash and walk it	Sep 22, 2011 1:44 PM
12	Rent Hall and kitchen for large groups	Sep 21, 2011 2:29 PM
13	pickleball	Sep 20, 2011 10:27 PM
14	We should not be building an activity center. Let private business provide those ammenities.	Sep 20, 2011 7:27 PM
15	Lets build a community center that can host many different activities by being a generic meeting place, not an athletic facility. We have lots of parks and private sports clubs to accomadate such activities.	Sep 19, 2011 2:36 PM
16	I've lived here since 1982 and many of these I would have used more when I had kids at home. So some of my answers of 'never' is only because my kids are no longer living here - but it is still important to have in the community.	Sep 19, 2011 1:57 PM
17	If you could make it capable of holding large gatherings like weddings, reunions, etc., you could rent out the facility. This would lower the community's costs.	Sep 19, 2011 10:31 AM
18	A fitness course around the park would be nice. Dog Park a necessity!!	Sep 18, 2011 6:09 PM
19	safe boating classes	Sep 17, 2011 10:36 AM
20	Bingo hall	Sep 16, 2011 7:24 PM
21	Wekend movies in the park	Sep 16, 2011 6:28 PM

Page 3, Q1: Please let us know both how important you feel offering this activity to the community it, as well as often you believe your family would use it.

22	Archery	Sep 16, 2011 4:33 PM
23	teen center for teens to get together in a safe and fun environment.	Sep 16, 2011 1:21 PM
24	Dog park should have a little lake for dogs to swim in! DB is a great place for us human but there are no places for dogs to enjoy the delta unless they are jumping off the dock or going on one of the beaches by boat. Dogs should be able to enjoy DB to the fullest with an area for them to swim.	Sep 16, 2011 11:52 AM
25	Top priorities for the community should be a skatepark/bmx park for the kids and a dog park.	Sep 16, 2011 11:32 AM
26	Some of these activities are already available within DB. Please use our resources wisely, and lets not be redundant. Some of the activities listed I do not believe would fit on some of the sites proposed. More baseball and soccer fields are always in high demand.	Sep 16, 2011 11:25 AM
27	I've been a resident of DB since 93. I'm 49 years old with two young children. There has been talk for a long time about a skate park. With the lack of activity for kids here, a skate park/ bike park would be two very low maintenance, facilities our kids could enjoy. I believe the focus should be on the youth here. DB has very little to offer kids and these two features would keep kids out of trouble and off the couch. I'm a Firefighter in Pleasanton, a city which has both and are used regularly by the community. A park like setting provides many of the other activities listed. LETS DO IT! great job on the new park, set the watering for early morning though, not 7:00 pm when the park is in use. Thanks.	Sep 15, 2011 9:31 PM
28	Yoga	Sep 15, 2011 11:59 AM
29	I like to see a small area developed where outdoor movies could be shown in the summer.	Sep 15, 2011 6:52 AM
30	Most of the activities listed are not intended for a community center. Most of the sports listed are something we can already do at the Cornell Park. I would open the pool up at the DB Athletic Club to the public. It's always sitting empty & it's such a nice pool, what a waste of money. What a Community Center is good for is various classes, an area to rent for events, & a hangout area for teens. For teens, I would have a room with air hockey, table tennis, pool table, etc. The teens out here are bored to death, that's the word on the street. They need to keep occupied to remain out of trouble.	Sep 14, 2011 4:48 PM
31	I think you guys do a fabulous job and should just keep doing what you are doing - great list to choose from!	Sep 14, 2011 8:11 AM
32	The center should only add activities which are not available yet at schools, etc. Remember we all have to pay for it.	Sep 13, 2011 8:13 AM
33	teen room with bean bag chairs and a cool place to hang out a talk. Maybe a place for girls to talk with a mentor in the community about "monthly topics" same for boys. Guest speakers for teens. They can get homework help, computers, read, play games. Just a same place to hang out. "library" or place to read and exchange your old books for another book and computers for	Sep 12, 2011 6:08 PM

Page 3, Q1. Please let us know both how important you feel offering this activity to the community it, as well as often you believe your family would use it.

	references and research. A Community Garden with solar energy!	
34	Art or ceramic classes for adults with equipment	Sep 12, 2011 10:45 AM
35	there are plenty of parks for sports. This should be more of a place to draw in the community	Aug 17, 2011 4:26 PM
36	If the athletic club is taken over, then the answers regarding pool, tennis, workout & etc. would become very important as I use the facilities daily.	Aug 17, 2011 1:18 PM
37	Fishing	Aug 14, 2011 6:31 PM
38	Mommy and me classes	Aug 8, 2011 10:07 AM
39	More walking trails connecting this center with ALL of Discovery Bay. We live off of Regatta drive and there is no way to get there without driving. A circle or meandering path connecting all of Discovery bay would be ideal. Shaded in some areas.	Aug 8, 2011 9:55 AM
40	golf putting green, outdoor stage area	Aug 6, 2011 11:48 PM
41	LIBRARY	Aug 6, 2011 10:41 AM
42	Outside amphitheater	Aug 3, 2011 9:09 AM
43	none	Jul 30, 2011 2:58 PM
44	All these activities are a REAL waste of money.	Jul 30, 2011 10:12 AM
45	A nice large family type room with fire place where one could have parties get togethers even weddings. Other than a meeting too	Jul 29, 2011 6:57 PM
46	botanical garden, organic produce or a garden showcasing the agriculture in our area(community garden?;]	Jul 29, 2011 5:21 PM
47	Mostly activities for teenager 13-17 years old. Skate park would be great. A big room to hang, listen to music and play games that appeal to a teenager.	Jul 29, 2011 4:39 PM
48	It is important to have a multi-use space for many of the above uses. Money then would dictate what else we might be able to afford. The goal is a community space...	Jul 29, 2011 4:15 PM
49	Townhall type meetings, Boy/Girl Scout meetings. Small festival/ art events. Limited youth sports activities.	Jul 29, 2011 3:41 PM
50	bingo, bunko groups, table tennis tournaments, cooking classes, teen center/club, mini-golf? the teens need more activities to occupy their time. too many kids running the streets with nothing to do and little parental supervision.	Jul 28, 2011 2:02 PM
51	We should have our own public library, a recreational room, shuffle board and bocce ball shaded area. We should have batting and golf cages, a recreational and diving pool, a basketball gym with 3 basketball/volleyball courts, and lots of outdoor places to sit under a shade. Perhaps surrounding and weaving in and	Jul 28, 2011 12:32 PM

Page 3, Q1: Please let us know both how important you feel offering this activity to the community it, as well as often you believe your family would use it.

out of it will be where people can walk on curved sidewalks and sit on benches and walk their dogs as well as a grassy area to play frisbee or an area to overlook the manmade lake for future 4th of July fireworks shows from the manmade lake.

52	The "how often" ratings are not a good gauge to determine the relative usage or importance of the facilities. For example, having a kitchen is critical if the facility is going to be rented for weddings/parties, but a family only has a "major life event" occasionally. And our daughter plays basketball and during the season, she would use a basketball court a few times a week, but not nearly as often off-season. I feel that having the opportunity to take classes is critical, but I don't know how many times a year I would actually enroll in a class. I could go on and on. Better "usage ranking" would be "never", "occasionally", "sometimes" and "often".	Jul 28, 2011 9:57 AM
53	We already have Basketball & baseball at Cabrillo park, why spend more. We have no pool access unless you belong to fitness club - Very Important My Dr. has recommended due to physical limits. - Could have swim aerobics, I hate the Delta. Would love Bocce and Arts & Crafts.	Jul 26, 2011 3:34 PM
54	KEEP SKATE PARKS AND OTHER TEEN VANDAL MAGNETS OUT OF THE AREA! Most of these other things are already available at the swim club, the golf course, the high schools...	Jul 25, 2011 5:41 PM
55	Area for Special need children like the Univeral Abilities playgrounds slated for Brentwood and Oakley	Jul 24, 2011 5:30 PM
56	We don't have children,so we would never use most things although certain amenities would be absolutely essential for kids. What the heck is "wally ball?" How about Volley Ball?	Jul 24, 2011 2:06 PM
57	quite time I	Jul 24, 2011 1:14 PM
58	Cooking areal	Jul 24, 2011 12:58 PM
59	senior citizen classes in dance or other activities	Jul 24, 2011 10:25 AM
60	Elegant Hall for special events attached to a beautiful garden. Amphitheater for outdoor events and special school graduations, concerts. Outdoor sand plt to host volleyball tournaments. Discovery Bay should be prepared to host extreme watersports events, triathalons and should be a hub for all outdoor activities.	Jul 23, 2011 4:03 PM
61	Available low cost meeting rooms for community use and business seminar facilities at modest cost.	Jul 23, 2011 12:18 PM
62	Ping pong tables.	Jul 23, 2011 12:13 PM
63	Billiards/Pool tables	Jul 23, 2011 12:07 PM
64	When I look at activities, I look at what my kids and grandkids might use -and since we don't have pets, the dog park isn't important to us, but would be nice for others. Meeting Room/Kitchen would be great for community groups.	Jul 23, 2011 7:34 AM

Page 3, Q1. Please let us know both how important you feel offering this activity to the community it, as well as often you believe your family would use it.

65	Pool table, ping pong,	Jul 22, 2011 9:07 PM
66	(note - my response is coming from a 60-year-old with no children)	Jul 22, 2011 2:29 PM
67	banquet room or facility to hold receptions, parties etc	Jul 22, 2011 1:53 PM
68	I don't think we even need the Center. We don't have the money or even enough interest.	Jul 22, 2011 10:50 AM
69	FIRE PROTECTION IS A HIGHER PRIORITY	Jul 22, 2011 7:02 AM
70	Water front beach area were people could go fishing and picnicing	Jul 22, 2011 6:54 AM
71	Housing for the Special Klds Foundation to begin to offer services to the children with disabilities in this part of the county.	Jul 21, 2011 10:28 AM
72	What is wally ball?	Jul 21, 2011 8:55 AM
73	THE one thing I see missing is a teen center with ping pong, pool table, etc. I think that is very important to give our teens a supervised place to go	Jul 21, 2011 6:55 AM
74	All team sports activities can and should be addressed by our schools especially with new play fields and gym and theatre at middle school being completed this year! Community center should support others needs (ie adults/senior citizens) and not compete with schools and hurt revenue stream for schools with same competition.	Jul 20, 2011 8:00 PM
75	I don't think things should be replicated that the town already has (basketball, baseball etc.) There should be ephases on things we don't (public driving range, skate park, enclosed dog park).	Jul 20, 2011 5:57 PM
76	kitchen for pot lucks, restrooms, multipurpose room for events-a room people could rent for scarpbooking events or boy scouts events or craft bazars, chest tables, bingo nights, movie nights. A place to pull in old and youngs ages in.	Jul 18, 2011 5:18 PM
77	Volleyball	Jul 18, 2011 10:42 AM
78	Back where I'm from, the Community Center Master Plan has an outdoor amphitheatre attached too it, for evening concert series. Its still in the design phase, but imagine the free evening entertainment that could make this neighborhood attractive to potential buyers?	Jul 18, 2011 7:34 AM
79	This should mostly be an indoor facility that has space for meetings, small events, classes, game room, theater etc. Sports like baseball, football, golf, biking running,swimming are already accomadated in other parks of the community. We live on the Delta why would we need swimming facilities? This should be a COMMUNITY CENTER, not just another park. Also if someone wants a gym there are many to choose from nearby. The Center should have activities not currently or easily available to the community.	Jul 18, 2011 7:06 AM
80	Cooking classes	Jul 18, 2011 6:22 AM
81	Town Offices	Jul 18, 2011 5:12 AM

Page 3, Q1. Please let us know both how important you feel offering this activity to the community it, as well as often you believe your family would use it.

82	gymnastics, summer camps, organized youth sports, swim lessons	Jul 17, 2011 10:26 PM
83	large rental room for crab feeds, weddings, bingo, spaghetti dinners,	Jul 16, 2011 3:41 PM
84	The DB Athletic Club would be a good starting point for the Community Center	Jul 15, 2011 5:10 PM
85	in-door soccer very important	Jul 15, 2011 12:14 PM
86	I think the meeting rooms are the most important, they can generate revenue from service clubs and other organizations renting out the facility.	Jul 12, 2011 10:43 AM

Page 4, Q1. Which of the following classes would you be interested in attending?

1	Computer, local & State government, Law, Investment and Entrepreneurial classes.	Sep 29, 2011 10:56 AM
2	swimming	Sep 24, 2011 6:46 PM
3	Enrichment such as sushi, tea, investing, writing, art history, meditating, author talks, more educational enrichment	Sep 22, 2011 11:26 PM
4	Keep it simple. Keep the cost managable.	Sep 20, 2011 7:28 PM
5	Writing (creative writing)	Sep 20, 2011 1:51 PM
6	Classes for children	Sep 18, 2011 5:01 PM
7	Boating will conflict w/DBYC & Excersize would conflict w/Athletic club	Sep 17, 2011 11:18 PM
8	Archery	Sep 16, 2011 4:34 PM
9	Crafts	Sep 16, 2011 4:10 PM
10	Photography	Sep 16, 2011 1:22 PM
11	All the others not checked should be there for the younger families with kids. Mine are out of the house now, so my interests have changed.	Sep 14, 2011 4:50 PM
12	teen topics, scrapbooking, photography, finance, pet training, singing, instrument (piano, violin, guitar), computer, Go Green!, etc...	Sep 12, 2011 6:11 PM
13	again cannot check boxes. interest in dance, aerobics	Sep 12, 2011 4:49 PM
14	ceramic classes for adults	Sep 12, 2011 10:46 AM
15	BOOK CLUB, SCIENCE,WILDLIFE	Aug 6, 2011 10:43 AM
16	music	Aug 2, 2011 9:48 PM
17	wine classes or photography	Jul 31, 2011 4:57 PM
18	none	Jul 30, 2011 2:58 PM
19	Quilting	Jul 30, 2011 12:50 PM
20	Water aerobics	Jul 30, 2011 10:35 AM
21	None	Jul 30, 2011 10:12 AM
22	crafts	Jul 30, 2011 10:09 AM
23	classes on Government should live within it's means	Jul 29, 2011 9:36 PM
24	none	Jul 29, 2011 5:02 PM
25	Business classes. Leadership classes. Entrepreneur classes. Financial Classes.	Jul 28, 2011 11:11 AM

Page 4, Q1. Which of the following classes would you be interested in attending?

26	Musical theater	Jul 28, 2011 9:58 AM
27	NONE- we just travel, rest, and keep to ourselves	Jul 25, 2011 5:44 PM
28	Lap-Pool--water aerobics/exercise, etc... also; table tennis (ping pong)	Jul 23, 2011 12:13 PM
29	sewing, crafts	Jul 22, 2011 11:43 PM
30	Youth sports clinics	Jul 22, 2011 9:08 PM
31	Computer skills.	Jul 22, 2011 10:52 AM
32	music	Jul 19, 2011 10:46 AM
33	Financial Planning for Retired Couples	Jul 18, 2011 8:01 AM
34	Knitting, sewing, etc	Jul 18, 2011 7:35 AM
35	Technology classes	Jul 18, 2011 7:07 AM
36	swim	Jul 17, 2011 10:27 PM
37	Yoga and other classes specifically for Wakeboarding and other water sports	Jul 12, 2011 10:44 AM
38	Kid camps	Jul 6, 2011 3:00 PM
39	Boating Safety classes	Jun 8, 2011 1:33 PM

Page 5, Q4. Please tell us any additional funding ideas you might have:

1	Selling graphic design t-shirts	Oct 2, 2011 1:42 AM
2	Town Bonds, moving current funds from unnecessary expense areas to the Community Center, fund raising activities (not taxes or other related activities under different names).	Sep 29, 2011 11:00 AM
3	Auctions Bingo Nights Drawings Crab feeds	Sep 27, 2011 3:08 PM
4	Admissions to theater productions	Sep 26, 2011 3:11 PM
5	YOur survey is screwed up. It starts of item #5. Hard to answer #5 when I can't find out what #1 through #4 represent. Please fix and I will respond.	Sep 24, 2011 11:34 AM
6	Dedication pavers, event rental space, snack bar, community events to raise money like a mothers day tea, holiday gala, etc.	Sep 22, 2011 11:29 PM
7	Fundraisers	Sep 22, 2011 1:46 PM
8	fundraisers	Sep 20, 2011 10:30 PM
9	Although this is a great idea, I'd support more police and fire before I'd support this.	Sep 20, 2011 8:50 PM
10	Home builders such as Mr Hoffman who made the commitment many years ago and asny private party that would like to donate.	Sep 20, 2011 7:30 PM
11	The community should have the scouts and children living in the community participate in fundrasing. It brings a community closer when they feel they have earned something together!!!	Sep 19, 2011 5:57 PM
12	Wedding halls are in demand and are big money makers.	Sep 19, 2011 10:33 AM
13	A dog park could have sponsors with their business name on placards attached to the fencing area that encloses the dog run, ie. veterinary, pet stores, etc.	Sep 18, 2011 6:14 PM
14	Hoffman Hofmann Hofmann. Follow through on the promises!!	Sep 17, 2011 2:24 PM
15	Fundraisers and use of skilled labor residents such as myself like habitat for humanity in example	Sep 16, 2011 6:32 PM
16	Ask Brentwood how they did it	Sep 16, 2011 12:01 PM
17	Grants- capital improvement etc.	Sep 15, 2011 9:33 PM
18	Annual fundraisers	Sep 15, 2011 12:00 PM
19	Go back to the original Hofman Corp. who promised to get the job done & never did. Have local events & have the proceeds go towards the center, like the Boat Show, or whatever else anybody can come up with.	Sep 14, 2011 4:53 PM
20	RAFFLE, FUNDRAISERS	Sep 14, 2011 11:48 AM
21	Taxes in discovery bay on properties are all ready very high compared to neighboring towns	Sep 14, 2011 10:53 AM

Page 5, Q4. Please tell us any additional funding ideas you might have:

22	fundraisers - grants - donations - sponsored marathons	Sep 14, 2011 8:12 AM
23	Abolish the csdl	Sep 13, 2011 3:01 PM
24	I am strictly against parcel tax. Please also keep in mind that every budget plan is overspent.	Sep 13, 2011 8:20 AM
25	Fundraiser: People can buy a brick at the building phase with their name inscribed on it (Oakland Zoo did this; Disneyland also has this) The Tiles at Cornel Park can be done again for a nominal fee to raise funds. Sell T-Shirts and license plate frames again in honor of the building, as well as calendars and other Discovery Bay merchandise that is updated. Start a Paypal or other online Fundraising site, where people can go online to see the goal and where we actually are and donate right from their computers. This works great for fundraising for other events (i.e. races, rides, etc.)	Sep 12, 2011 6:44 PM
26	would donate time within limits.	Sep 12, 2011 4:50 PM
27	A parcel tax!!?? You gotta be kidding!!!! I'd fight that idea~!!	Sep 12, 2011 10:48 AM
28	concert and movie nights, Rent out hall for partys and weddings. A HOT ROD, BOATS, RV AND MOTORCYCLE SHOW! (WHERE HAS MY BOAT SHOW GONE?) LOL COMMUNITY FLE MARKET \$10 FOR A TABLE SPOT. POKER TURNAMENT(NO BOAT REQUIRED)	Aug 6, 2011 11:58 PM
29	fund raising events	Aug 4, 2011 1:15 PM
30	Redevelopment Funds?	Aug 3, 2011 3:02 PM
31	set up a recycling program	Aug 3, 2011 11:48 AM
32	Rental of facilities	Jul 30, 2011 5:41 PM
33	spend the money on utilities	Jul 30, 2011 3:00 PM
34	NONE, I'm on a limited income and so many others are without jobs and are losing their homes.	Jul 30, 2011 10:14 AM
35	Move to Brentwood they have built a nice center in the middle of an economic recession	Jul 29, 2011 9:38 PM
36	no additional taxes	Jul 29, 2011 5:03 PM
37	Could the proposed security camera also be used to monitor traffic? I.e., a source of income for traffic violations. Many communities are using camera for this and is a good source of income???	Jul 29, 2011 4:18 PM
38	I am only one person. Maybe more for families.	Jul 28, 2011 4:33 PM
39	User fees will highly support this venture. Fundraiser activities like a crab feed w/ auctions, a wine and cheese night w/ auctions, a walkathon/race with big sponsors and local celebrities, a golf tournament with sponsors and auction during dinner.	Jul 28, 2011 12:37 PM

Page 5, Q4: Please tell us any additional funding ideas you might have:

40	My level of support will also depend on the type if facility/capacity for activities	Jul 28, 2011 10:00 AM
41	CSD has 6 million operating budget. No taxes for this project!	Jul 27, 2011 6:14 AM
42	Would not be fair for parcel tax. Not everyone will use. Just like all the school bonds & taxes. Fundraiser events specific for this. Similar to Boardwalk/Lions. Would love concerts. Miss the old Jazz/rock concerts at Disco Bay shopping center frm years ago - wish you would bring back. How about a concert! As much as I would like to donate money I have been unemployed for 2years! Also, parcel tax would create unnecessary burden and cost of living expense for those who just dont have it. Also maybe have cooking contests like at fairs. Or "movies under the stars" - proceeds specific	Jul 26, 2011 3:45 PM
43	No dog park, use that money! This has higher priority- serves more people!	Jul 25, 2011 7:09 PM
44	user fees should be made to support any activity for this hypothetical project.	Jul 25, 2011 5:45 PM
45	Raffles, fundraising events	Jul 25, 2011 1:35 PM
46	Fund the Fire Dept. first..I would gladly pay a \$1000 parcel tax/YR	Jul 24, 2011 5:31 PM
47	I am not donating one thin dime - DB should have the money to build this after all these years. If we had a decent government in place, it would have been built long ago.	Jul 24, 2011 2:09 PM
48	class fees will pay for the instructor and/or rental of the rooms in which lessons are given	Jul 24, 2011 10:29 AM
49	Community Solar or Community Windpower to generate revenue.	Jul 23, 2011 4:11 PM
50	Provide and promote multiuse facility avail. at nominal fee for businesses and civic groups. Some uses at no charge to nonprofits etc.	Jul 23, 2011 12:27 PM
51	Install 3 photo ticketing cameras in DB to enforce speed limits. Work out deal with county to share new revenue. Money should be substantial.I have spoken to others about this idea I Call me at 925/634-0968 , Randy Scupin	Jul 23, 2011 12:14 PM
52	Those who use the center should pay a small fee. Don't tax everyone for something they don't use.	Jul 23, 2011 7:36 AM
53	Take it from the Dog Park fund you want to currently spend 85K on!	Jul 22, 2011 11:44 PM
54	NO TAX	Jul 22, 2011 11:22 PM
55	Grants.	Jul 22, 2011 9:10 PM
56	Fund raiser	Jul 22, 2011 6:49 PM
57	Charge for the activity only	Jul 22, 2011 6:37 PM
58	user fee	Jul 22, 2011 11:18 AM
59	No amount.	Jul 22, 2011 10:54 AM

Page 5, Q4. Please tell us any additional funding ideas you might have:

60	Rentling for use, weddings, parties etc. Bricks, tiles	Jul 21, 2011 10:52 PM
61	I feel funding would be much better spent where it is actually needed.	Jul 21, 2011 10:29 AM
62	I thought we had funds for this.	Jul 21, 2011 6:57 AM
63	Add the rest of the town to the P-6 fund, so that everyone pays their fair share toward everything.!!!	Jul 20, 2011 8:34 PM
64	Fundraisers, yearly passes to purchase to use facility	Jul 19, 2011 9:30 PM
65	Fundraisers	Jul 18, 2011 10:45 AM
66	Corporate sponsorships from many of the businesses inb oour commmunity.	Jul 18, 2011 8:32 AM
67	Would be willing to work any fund raising activities that may be necessary.	Jul 18, 2011 7:36 AM
68	I would be willing to generously donate local artwork to help decorate the center	Jul 18, 2011 7:08 AM
69	Donations from residents and local business.	Jul 18, 2011 6:24 AM
70	Building a fun swimming and recreational center that would allow those outside the community to attend but would charge a fee. All of the pools in the area are swamped in the summer, and there is enough interest that we would attract users from Brentwood, etc. In addition, the outdoor pool could be used in the winter if we simply use a plastic cover to retain the heat and keep out the rain.	Jul 18, 2011 5:16 AM
71	You might be able to use an existing structure, such as the old fire station, or the one across the street from the old fire station that Hofmann owns, moving current tenants elsewhere & remodeling for town needs.	Jul 16, 2011 10:08 AM
72	we already pay a lot of taxes will have to pay more for fire and schools	Jul 15, 2011 12:16 PM
73	generate revenue from renting out the meeting rooms and other parts of the facility to service clubs and other organizations & business's to hold events at our state of the art facility.	Jul 12, 2011 10:47 AM
74	Use fee for meeting rooms or club uses of facilities.	Jul 6, 2011 3:01 PM

Page 6, Q2: Which area of Discovery Bay do you live in?

1	Indian bay	Sep 27, 2011 4:12 PM
2	Clipper and Reef Ct	Sep 20, 2011 3:18 PM
3	Cambridge	Sep 17, 2011 2:32 PM
4	Cambridge Drive off Newport	Sep 16, 2011 11:42 AM
5	30 discovery Bay Blvd.	Sep 16, 2011 11:08 AM
6	NEWPORT DR.	Sep 14, 2011 11:49 AM
7	regatta	Sep 14, 2011 10:54 AM
8	Between Newport and DBay Blvd off Cove...	Sep 14, 2011 8:16 AM
9	Kensington Development	Sep 12, 2011 6:56 PM
10	live full time in the Harbor Bay Condos, I'm 60+ and divorced with grown children and grandchildren	Sep 12, 2011 4:51 PM
11	Edgewater	Sep 12, 2011 10:50 AM
12	regatta and bixlet	Aug 8, 2011 10:09 AM
13	Pacific Waterways	Aug 8, 2011 9:57 AM
14	Newport Dr	Jul 31, 2011 4:00 PM
15	Cabrillo Bay	Jul 31, 2011 8:49 AM
16	Lido Bay on the water	Jul 30, 2011 5:27 PM
17	Riverlake	Jul 28, 2011 11:14 AM
18	Clipper Dr.	Jul 26, 2011 3:46 PM
19	Disc. Bay Blvd- the lake side	Jul 23, 2011 7:37 AM
20	not relevant	Jul 22, 2011 11:45 PM
21	Windward Point	Jul 18, 2011 2:18 PM
22	171 Disco Bay Blvd	Jul 12, 2011 10:53 AM

Page 7, Q1: If you have any additional comments regarding the community center please share them here:

1	Take in consideration, what will best served the younger generations, i.e. kids 2-20 years of age. The community center would be a great asset for the youth to have them constructively occupied, instead of roaming the neighborhoods, maliciously defacing homeowners property.	Oct 2, 2011 3:17 PM
2	I hope we keep the design in the nautical theme and modern	Oct 2, 2011 1:44 AM
3	We do have grandchildren that visit us during the holidays and the summer. They are ages 4 and 12. It would be nice to have something local, rather than making our annual summer arrangements with Brentwood Parks and Recreation (swim, camp, and karate).	Sep 29, 2011 11:23 PM
4	Thank you	Sep 29, 2011 1:44 PM
5	I believe the best location for this center is in one of the three empty lots located off of Discovery Bay Blvd. The most centrally located ones would be those at the corner of Discovery Bay Blvd. & Riverlake/Willow Lake Road. This would be easily accessible to anyone living in Discovery Bay.	Sep 29, 2011 11:04 AM
6	Would like to see more of the Tiles that were painted.	Sep 27, 2011 4:12 PM
7	It would be nice as now we have to depend on the City of Brentwood for activities.	Sep 27, 2011 8:27 AM
8	What took so long?	Sep 26, 2011 3:13 PM
9	I would really like to see this plan come together! Everyone here in Discovery Bay could benefit from this :) Help bring our Community TOGETHER!!!	Sep 26, 2011 10:51 AM
10	Our schools have athletic fields and gyms and a theatre and rely on the community to use and support these ... please do not make the community center compete with the schools to provide these services ... both the schools' revenue and the community center revenue would suffer if having to compete for funds. Our town is small ... do not need duplicate services provided for our kids which would truly hurt the already financially distressed school district.	Sep 25, 2011 7:48 PM
11	The Community Center should not be built in an existing residential area. Noise and traffic issues associated with complex would devalue property and owners rights would be violated and lawsuits could be a result of doing so. There was no disclosure at the time of purchase, hence forth there is a liability.	Sep 24, 2011 7:02 PM
12	Would prefer something geared for adults and seniors, not kids.	Sep 22, 2011 11:31 PM
13	I think it would be a great addition to our community.	Sep 22, 2011 9:21 PM
14	I hadn't heard of the new effort to build the community center until I went to the survey. Get the community involved may e send flyers home through the schools.	Sep 22, 2011 1:48 PM
15	If I remember correctly, this center was to be part of Discovery Bay at the outset by Hoffman, back in the early 80's	Sep 22, 2011 11:52 AM
16	Keep it simple and get it done or just drop it finally.	Sep 20, 2011 7:31 PM

Page 7, Q1. If you have any additional comments regarding the community center please share them here:

- | | | |
|----|--|-----------------------|
| 17 | I don't support the center as to we would have no control as to who would use it. Anyone in "all" of Contra costa would have the opportunity. DB doesn't now have adquate traffic outlets to warrant the traffic this could impact | Sep 20, 2011 6:14 PM |
| 18 | Where is the Community Center? I am a new homeowner here and have not received ANY information about the Town of Discovery Bay. Where are the Welcome Wagon people? | Sep 20, 2011 1:31 PM |
| 19 | We have lived here 21 years, our children have grown up here and been involved in the community. I don't believe people when they say there is nothing for the children to do. I do believe the entire community should be served by a "community center" or commonly known as "Recreation Center". As our town developes we need to serve all... Thank you to all of you who never get any credit. We silent few thank you! | Sep 19, 2011 6:02 PM |
| 20 | Please, lets keep it simple. We have survived for many years by utilizing both public and private facilities. We can have a great community center by spending our money wisely and not trying to build a "Taj Majal" or trying to be all things to all people! | Sep 19, 2011 2:48 PM |
| 21 | It's really too bad this has taken so long. My kids were raised here when there really wasn't much to do. So now they only come back to enjoy the water.... | Sep 19, 2011 2:01 PM |
| 22 | The land behind Safeway is the most centrally located and has the easiest access in and out of the area. Also, it is land that currently is a bit of an eyesore that could be turned into a real asset to all. | Sep 19, 2011 10:36 AM |
| 23 | Very long overdue for a community center. Should definately be located near the shopping center at db blvd and Willow Lake since we have been here the longest and it would make the community more attractive to everyone. | Sep 18, 2011 6:14 PM |
| 24 | I would love to have walking/biking trails like what they have in Brentwood. | Sep 18, 2011 5:04 PM |
| 25 | What is the projected cost and what will be the effect on the HOA dues? | Sep 18, 2011 3:00 PM |
| 26 | Let's quit talking about it and get Hoffmans money in the bank and get started on building something. How manus years have we kicked this around? | Sep 18, 2011 11:34 AM |
| 27 | PLEASE do a flow pattern study on how much additional traffice will be taken by the addition of a center. Also, look into an additional road in/out of Discovery Bay. | Sep 17, 2011 7:05 PM |
| 28 | The community center can serve as the core or central place for local social activies & politcal forums . It will bring all of Discovery Bay together. It may even become our town center. | Sep 17, 2011 1:52 PM |
| 29 | Center would be a good idea for younger famillies. And I think there is a need for a center for the teen age crowd. But the programs must be prepared in a way to interest those young people. | Sep 16, 2011 9:14 PM |
| 30 | Do not put this center off of willow lake. There is enough traffic with church and schools. | Sep 16, 2011 7:26 PM |
| 31 | This has been a great idea for years I am a 17 year resident of dbay and kids need this type of center to keep busy after school and stay outa trouble while | Sep 16, 2011 6:37 PM |

Page 7, Q1: If you have any additional comments regarding the community center please share them here:

	boredom hits. Kids need the positive vibe and sense of community pride this would create. After school programs would be awesome. Keep kids from hangin out and give them a place to learn new activlies in a positlve and entertaining environment	
32	Hopefully there will meetings and information along the way. I read about this in the newspaper today and didn't know it was in the works. Its nice to be able to put our input into it.	Sep 16, 2011 1:51 PM
33	The community center rumor has been going on since we moved here in 1997. The children who live in Discovery Bay need to have a safe place to hang out. A number of the items listed would be nice to have for them. I would be willing to volunteer as needed depending on my health. Thank you,	Sep 16, 2011 12:50 PM
34	Our kids and teens deffnately need a fun safe place to be able to spend free time.	Sep 16, 2011 11:46 AM
35	Please do not let the original "downtown" DB die. Even though we now live off the water in Ravenswood, I believe it would revitalize the old DB shopping center and make it the "heart" of DB by placing the community center there. It saddens me to still see the vacant land just sitting there, not utilized on the corners of Willow Lake/ Sand Point and DB Blvd.	Sep 16, 2011 11:31 AM
36	Very much needed in our community. Need some place for our children to go also.	Sep 16, 2011 7:39 AM
37	see previous comments. Nice to see some interest in the community, the park upgrade is nice, the Blvd is so/so the flags on the posts are nice and the sense of community is unique and outstanding.	Sep 15, 2011 9:36 PM
38	Don't let it die. Also, choose a locaion cental to the community.	Sep 15, 2011 4:33 PM
39	We believe this is a great idea and are willing to contribute to our community to help make it a better place to live. We like the idea of splitting the costs between user fees and a small parcel tax. Thank you for making this available to the local residence and let us voice our thoughts on this matter. Cheers, Steve & Danette Weller	Sep 15, 2011 1:28 PM
40	Just please make sure that there will be plenty of parking. Also, make sure that there is a GREAT custodial plan in place. So often, community centers become dirty and then no one likes to use them.	Sep 15, 2011 12:01 PM
41	I believe that this Community Center is very important to Discovery Bay. As a parent and business owner, I spend too much time driving back and forth to Brentwood. This center would help keep me and my discretionary spending here in Discovery Bay.	Sep 15, 2011 6:58 AM
42	A Community Center is a great gathering place for special events & holidays. It's also a great place for families to have their kids get into social activities & adult activities.	Sep 14, 2011 4:56 PM
43	More activities for children . We have to constantly go to brentwood for activities for our kids and It would be nice if we had the option to stay in discovery bay	Sep 14, 2011 10:55 AM

Page 7, Q1: If you have any additional comments regarding the community center please share them here:

44	I think if there will be a water area there should be bathrooms as well :-)	Sep 14, 2011 8:18 AM
45	I would rather the funds be given back to the residents of Discovery Bay than to have them spent on anything else. Water is already outrageous.	Sep 13, 2011 3:03 PM
46	I am against building the community center because it will cause considerable cost mostly for home owners. There are lots of activities available in our area.	Sep 13, 2011 8:23 AM
47	Well, I personally think that the community as a whole is largely ignored by the county and we are not given the proper \$\$ we deserve. There is a lot of potential in our community, on the waterfront and all around us. We could be a lovely city! I do not understand why there is such a desire to live as if we are 2 separate (or 3 sometimes Centex feels left out as well) communities when we could be one small beautiful city. There is so much fighting with the CSD and in our Letters to the Editor section, why don't we incorporate and have a city planner and mayor. These ideas would come to fruition and some of our issues would be handled so much quicker. We could put a cap on "certain" issues and also expand on others while still maintaining a small town feel. Look at Auburn and Placerville. We could have adequate Police and Fire. Oakley opened a \$3.15 Mil Fire Dept. while we had to close 2 fire stations. What does that tell you? It is time to make changes, far beyond a community center that we have talked about for 12+ years. Thank you!	Sep 12, 2011 7:04 PM
48	Would really love a dog park. Also love the splash park near the school, we use it a couple times a week. Really a great idea, so thank you.	Sep 12, 2011 2:28 PM
49	Again, it would be helpful if you could read the suggested locations.	Sep 12, 2011 11:19 AM
50	I'd be happy to help but NO PARCEL TAX!!!!	Sep 12, 2011 10:51 AM
51	I like the idea of purchasing the athletic club. It is centerly located, the club needs better management & the club offers many facilities especially the pool.	Aug 17, 2011 1:22 PM
52	The community center should include activities and classes that reflect what the community is all about... e.g., boating, fishing, swimming, etc... Let's get it done!	Aug 14, 2011 6:37 PM
53	Again connect Pacific waterways and all areas with the community center with a walking trail.	Aug 8, 2011 9:57 AM
54	MAKE IT SOLAR AND HAVE FREE WIFI IF POSSIBLE, ALSO A COMMUNITY WEATHER STATION ONLINE WOULD ALSO BE NICE.	Aug 7, 2011 12:01 AM
55	I don't understand how a community center should be built just because some developer said they would put up some money/land.	Aug 5, 2011 7:59 AM
56	WE WOULD LOVE TO SEE A COMMUNITY CENTER BUILT.	Aug 4, 2011 1:17 PM
57	It would be nice to see what current funds are currently available and what land has already been donated. An e mail or letter to the homeowners with the results of this survey before any type of discussion or votes would help keep the concept in front of the residents	Aug 3, 2011 3:07 PM
58	We would love to see a community center with local pool access and classes that would enrichment the lives of all who live here. We support the community	Aug 3, 2011 11:39 AM

Page 7, Q1. If you have any additional comments regarding the community center please share them here:

	center whole heartedly. Thanks.	
59	In the first part of the survey my answers were based solely on location. I was also wondering about accessibility and future growth of the community but that information is not available to me.	Aug 3, 2011 9:17 AM
60	no	Aug 3, 2011 12:15 AM
61	I think the community center would be a good resource to have. It would offer especially our young people who can't drive and our senior citizens who may be cutting back on their driving things to do without leaving the community.	Aug 1, 2011 9:22 AM
62	usage of the building center should be fee based	Jul 31, 2011 7:40 PM
63	NO new taxes to pay for a community center!	Jul 31, 2011 6:57 PM
64	We've lived in Disco Bay for 14 years and love it! We truly need a community center and a dog park would be ideal. It seems as if every household has some type of dog!	Jul 31, 2011 5:00 PM
65	Good ideal	Jul 31, 2011 11:02 AM
66	Should start modestly but have available space for expansion.	Jul 30, 2011 5:44 PM
67	Great idea, but at this stage in our lives, we would not make much use of it. Would have been very nice if we had had it when our child was growing up!	Jul 30, 2011 5:29 PM
68	It would be a wast of money	Jul 30, 2011 3:01 PM
69	Even though we don't have Children at home, some of my answers reflect what I would like for the Children in our community. Also for my visiting Grandchildren.	Jul 30, 2011 12:55 PM
70	No new taxes or fees!! Our proposed water rate increase will probably stretch my \$ beyond what I can afford. SO NO NEW COMMUNITY CENTER!	Jul 30, 2011 10:16 AM
71	The parks and schools already supply the the athletic and theater facilities. This should be for events, meetings, and classes. Include money for employee to administer. We have lived here 31 years and always wanted this.	Jul 30, 2011 10:14 AM
72	Moved here in '88. CC will be built soon! Kids grew up! I got old and still people talk, talk, talk. I kinda wonder if they will actually stop talking and DO SOMETHING!	Jul 29, 2011 11:37 PM
73	While the thought of such a center is wonderful, I strongly oppose the undertaking of a project of this magnitude. I don't think this is a necessary expenditure at this time. After the completion of the building we would have ongoing expenses associated with the staffing, utility costs and maintenance of said building which in these tough economic times our community would find to be more than we can realistically support. This project is not a fiscally responsible undertaking at this time or for the foreseeable future. I think there are other options available to offer classes to our community members.	Jul 29, 2011 11:07 PM
74	We should wait to build a center in this down economy. the entire cost should be paid for by developers in the future when our economy recovers "Not until then"	Jul 29, 2011 9:44 PM

Page 7, Q1: If you have any additional comments regarding the community center please share them here:

	Give us Taxpayers a Break	
75	I will not support this if the intent is to eliminate the Discovery Bay Athletic Club.	Jul 29, 2011 8:45 PM
76	Will this center really be accessible to all Discovery Bay residents including the Discovery Bay West Centex home residents?	Jul 29, 2011 7:26 PM
77	do not use discovery bay west money for this project..first make everyone pay there share of P6 tax first as we in db west pay for your protection	Jul 29, 2011 5:05 PM
78	Again, my biggest concern at the moment are the teenagers. There is not much to do in Discovery Bay. Especially in the cooler time of the year.	Jul 29, 2011 4:44 PM
79	Thanks for the survey and the opportunity to participate.	Jul 29, 2011 4:19 PM
80	In my opinion..DB does not have the population to support a large scale community center operation. We do need a building for meetings of say 200/300 people, ie townhall type mtgs, scouts and seasonal events like art shows and community fund raisers.Some small meeting rooms attached, a kitchen and bathrooms. This would be a practical approach....and most importantly...keep costs down!	Jul 29, 2011 4:03 PM
81	NO dog park please at Cornell park	Jul 29, 2011 1:20 PM
82	The kids in Discovery Bay need something to keep them busy. They all run the streets looking for trouble otherwise.	Jul 28, 2011 3:22 PM
83	Operation of the Community Center should be funded by those that use it & not based on additional taxes.	Jul 28, 2011 3:01 PM
84	looking forward to this project becoming a reality, as i plan to continue living life in DB.	Jul 28, 2011 2:05 PM
85	I would be happy to donate doing an artistic wall in some part of the community center. my contact info is 925-470-9987. I prefer not to do a mural. I do high end decorative finishes such as venetian plaster and shimmer plasters, unique finishes.	Jul 28, 2011 11:16 AM
86	Enough already with the dilly-dallying! Let's make this happen!!! And I am FAR MORE interested in building something new/custom rather than re-habbing an existing building	Jul 28, 2011 10:03 AM
87	I have personally witnessed the importance of a Community Center. I have seen how important a community center is for our children and how it can strengthen our sense of "community", in both adults and children. Please keep moving forward.	Jul 27, 2011 12:44 PM
88	Hofmann, CoCo County, and TODB should be paying for this, No new taxation!	Jul 27, 2011 6:16 AM
89	Already added comments. The Disco Bay shopping center is practically empty - great site. But who knows about Hoffman, that owns it - (greedy & difficult). I would hate it at the Lakes - still dont feel like it is part of Disco Bay. There is already alot traffic boats/trailers in summer at Marina area.	Jul 26, 2011 3:49 PM

Page 7, Q1. If you have any additional comments regarding the community center please share them here:

90	It would be a great venue for holiday parties and other community-building events.	Jul 26, 2011 11:58 AM
91	So many activities are already available, tennis, golf, etc. You need to be careful not to double up the things that we already have. We have lots of parks already. I'm not sure a community center is a wise use of money at all. I don't think it will be used by the local people when everything is already available in Brentwood. This is a very small population to be able to support a center.	Jul 25, 2011 8:34 PM
92	We do not need a community center. There is plenty to do here if people take the time to look in the paper and the recreation guides. This is NOT a time to ask for any taxes for frivolous activities that we (Country Club) are least likely to use.	Jul 25, 2011 5:49 PM
93	I would hope that the community can be built with the money earmarked for this project and not ask the residents/taxpayers for additional monies.	Jul 25, 2011 5:12 PM
94	Discovery desperately needs somewhere and something for young kids to do ESPECIALLY indoors during the rainy winter months. It would also be nice to not have to count on Brentwood facilities and programs for our kids sports. If we had a facility then maybe Discovery Bay could have their own sports programs for children.	Jul 25, 2011 10:18 AM
95	We need an upper class of community center to keep our city value up, so we don't think we need to have extra sports, like baseball, football...because you can enjoy at almost every schools facilities, why repeatly have those items, seems to us, waste of money and space. We should really keep our new community center up and built up reputation of Discovery bay, not make it like a play ground. Thank you for listening our suggestions.	Jul 25, 2011 8:34 AM
96	It is a great concept, but in these times, we have other community responsibilities to attend to such as public safety. Why not partner with Excelsior to use their new facilities?	Jul 24, 2011 5:33 PM
97	Once again, a parcel tax or a donation from my husband and I are completely unacceptable. We will fight it tooth and nail. There is no excuse for DB not being able to do this with existing funds.	Jul 24, 2011 2:11 PM
98	When I purchased my home in 1983 we had a pool and a club house, Now your asking the full time owners to fund the project for the mostly part time or rental home users. No,No, I	Jul 24, 2011 1:18 PM
99	Git 'er done!	Jul 24, 2011 11:24 AM
100	This will be a great addition to the Sand Point and Discovery Bay Blvd. Alot better than a vacant lot. Thank you for providing this survey.	Jul 23, 2011 5:36 PM
101	Having a Community Center where people could rent the hall for receptions and Parties to generate revenue.	Jul 23, 2011 4:13 PM
102	Buy the athletic club and add a beautiful auditorium with a garden or develop the marina to be the central hub of the community. It would be so nice to have the community center also on the water!!	Jul 23, 2011 4:04 PM

Page 7, Q1. If you have any additional comments regarding the community center please share them here:

103	\$25 to \$50 per year on property tax bill seems reasonable, but not a property transfer tax.	Jul 23, 2011 12:28 PM
104	Those who use the facility or service need to pay for their program. Everyone in DB can afford to pay for the program provided.	Jul 23, 2011 12:26 PM
105	This is a hot weather area and a community center without a pool doesn't make much sense to me. (a large lap pool could be utilized many ways, for people of all ages I) --and please don't forget the older folks that always pay and get very little for their health & enjoyment.	Jul 23, 2011 12:14 PM
106	The location is one of the most contentious issues and one of the most important. The map of the proposed community center locations in your survey was so small I couldn't even read it and therefore I had no idea where the proposed sites were located. You should have provided a description of each of proposed locations in addition to a map.	Jul 23, 2011 11:12 AM
107	Let's get this done already. We have been waiting years. Would be great meeting place for community.	Jul 23, 2011 7:37 AM
108	The longer you've waited, the more it's costing us. People are fed up.	Jul 22, 2011 11:46 PM
109	Design, develop, and build with current funds - no new taxes	Jul 22, 2011 11:24 PM
110	Restrict access to residents and others who buy membership or daily/weekly passes. Enforce it.	Jul 22, 2011 9:13 PM
111	I have lived here 20 years. It would be nice to finally get a community center.	Jul 22, 2011 6:50 PM
112	Pretty fed up with this. It was promised in the early 80's. Where's Hoffman's promise?	Jul 22, 2011 6:38 PM
113	An area where the teenagers can go to hang out whether it be a hall, skate/bike park.	Jul 22, 2011 2:34 PM
114	Good Luck. I've been hearing about this possible community center for a long time I	Jul 22, 2011 2:32 PM
115	Keep going, and soon, if possible. Thank you for your efforts.	Jul 22, 2011 1:32 PM
116	We need a place for clubs to meet and for social events as well as for activities for youngsters to join in age-appropriate activities.	Jul 22, 2011 12:45 PM
117	Money needs to be spent on infrastructure and not items that will add to the cost and add employees to the payroll of Discovery Bay. Look around 1st time unemployment claims are up over 400k for 15 weeks in a row nationally. Fewer people live in Discovery Bay today than 12 months ago. Housing values are continuing to decline. The Community Center will not add financial value to the community when people do not have money to buy houses and banks are not lending.	Jul 22, 2011 11:22 AM
118	Hire Security to keep gang members and other criminals out.	Jul 22, 2011 11:20 AM
119	No other comments.	Jul 22, 2011 10:56 AM

Page 7, Q1: If you have any additional comments regarding the community center please share them here:

120	LET'S GET STARTED! IT WOULD BE NICE TO HAVE A SAFE PLACE OUR KIDS CAN GO	Jul 22, 2011 10:01 AM
121	WITH POSSIBLE FUNDING CUTS ON THE WAY FOR FIRE AND SCHOOLS,THIS WOULD NOT BE A GOOD USE OF TAX BASE.	Jul 22, 2011 7:06 AM
122	Special Kids Foundation has been searching for a REVENUE producing facility to provide services for the well over 5,000 disabled children and young adults in East County. To our thinking, a community center would be a luxury, our facility, serving the NEEDS of the children and families who live here, is a necessity!	Jul 21, 2011 10:32 AM
123	A CSD Board that has argued against installing one time \$200 water meters which have an excellent ROI(less than 2 yrs) is now advocating for hundreds of dollars in recurring fees for a community center? Talk about a disconnect.	Jul 21, 2011 10:08 AM
124	Thanks so much getting this off the ground. It is great to have Jim on this committee. He is an amazing person !!!	Jul 21, 2011 8:59 AM
125	Getter donell	Jul 21, 2011 8:56 AM
126	People do we really have the money for this now? People are not working and just barely making it. They don't need another bill. Shelf it till times are better.	Jul 20, 2011 8:37 PM
127	Community Center should not compete with schools for activities or funding ... our children's needs can be met at school but State has seriously devastated district's budget and any and all revenues which can go to schools need too ie, sports programs and fields rentals (youth sports leagues) theatre rental (new theatre @ Excelsior) child care services provided at both elementary schools and provide revenue for the District. I do fully support Community Center to offer services for adults/seniors and believe this to be appropriate use for facility.	Jul 20, 2011 8:07 PM
128	Keep fees as low as possible. Charging more only limits the number of people that will use it.	Jul 20, 2011 6:27 PM
129	As much as it would be nice to have all activities it is most important to have something for the teens in this town to do. With our economy mostly both parents have to work and are unsupervised so therefore they are getting out of control. The community is paying for it. Fires, mailbox fires, burglary, fighting, stealing, drugs, sex, parties, alcohol. I know this has been going around for along time but there is NOTHING in DB for teenagers to do. No open gyms, no parks for older kids, it's sad what they do to entertain themselves now.	Jul 19, 2011 9:34 PM
130	Some of my answers don't necessarily reflect my family at this point in time, but as we intend to retire there or eventually sell I have checked items that would suit young families and retirees. A community center will help with resale value.	Jul 19, 2011 11:35 AM
131	please get this off the ground! Our community is suffering because our kids have no place to go where they can do things! We have had talk of this way too many years - time to belly up! Our community is now heavily populated with young parents & kids	Jul 19, 2011 10:49 AM
132	I think it would be a wonderful addition to our community	Jul 18, 2011 5:12 PM

Page 7, Q1. If you have any additional comments regarding the community center please share them here:

133	I've been in the Lion's Club 14 yrs, it's about time some of our money and efforts are rewarded.	Jul 18, 2011 2:19 PM
134	I believe the community could really benefit from a community center, especially families.	Jul 18, 2011 8:11 AM
135	Please do not INCREASE current HOA fee and use that to build and run the community center. Ditto for parcel tax. Thanks!	Jul 18, 2011 8:05 AM
136	This seems to come up every couple of years, but no real progress seems to ever be made. We really need a place for the community to meet!	Jul 18, 2011 7:38 AM
137	I would consult with other Community Center groups throughout the region, to make sure its done right, but fits the communities interest.	Jul 18, 2011 7:38 AM
138	Don't put the facility somewhere out on Bixler Road, that's not really considered Discovery bay and most residents will need to drive 10 minutes to get there reducing usage. It s/b centrally located and walkable / bikeable to most residents. A Community Center somewhere out in Discovery Bay West would be a very bad idea that i could not support.	Jul 18, 2011 7:11 AM
139	If we build consensus and truly use the input from residents, we could take advantage of this once in a lifetime opportunity to create a true "community" center.	Jul 18, 2011 5:18 AM
140	Don't get too gradiose!	Jul 16, 2011 10:10 AM
141	Great job of reaching out for ideas. We have been hearing about a community center for years and it is nice to see something if FINALLY happening.	Jul 15, 2011 5:13 PM
142	if I have to pay do not do it	Jul 15, 2011 12:18 PM
143	Get on with it!!	Jul 15, 2011 10:51 AM
144	Both Lions Clubs have been saving monies for the center for years. We have all waited to long for the center.	Jul 15, 2011 9:50 AM
145	I would love to help and be a part of this, i am new to the community, just purchased our home on June 25th. Cera Hinton Cera@CeraHinton.com	Jul 12, 2011 10:54 AM
146	1st question is daunting, maybe break it up so no one gets overwhelmed.	Jul 6, 2011 3:03 PM

December 1, 2011

Rick Howard
General Manager
Town of Discovery Bay
1800 Willow Lake Road
Discovery Bay, California 94505

Re: Request to Proceed with Architectural Services
Discovery Bay Community Center
Byron, California

Dear Mr. Howard:

You have requested that we proceed with a conceptual design for the Community Center to be located at the existing Health Club Facility and adjacent property on Discovery Bay Blvd in Discovery Bay, California. The Architectural Scope of Work includes presentation of a conceptual floor plan design based upon program requirements as established by the Community Center Committee for the Town of Discovery Bay. The conceptual design shall incorporate 2 design passes, the initial design used as a talking tool and program test and a second pass that refines the program requirements. A site plan shall be provided showing location of existing and proposed building, including projected future phases for a gymnasium and other outdoor facilities. All time will be billed at an hourly rate per the attached schedule based upon the following hourly budget:

Meetings:	6 hours	\$ 900
Site Drafting:	6 hours	\$ 450
Initial Design Pass:	12 hours	\$1800
Second Design Pass:	8 hours	\$1200
Site Plan Design:	6 hours	<u>\$ 900</u>

Total Estimate Fee \$5250

Optional Colored Graphic Package (recommended): \$ 600 (See attached product)

HOURLY RATE SCHEDULE

Mark Lee...\$150/Hr. (includes \$50/hr credit)
 Dave Jagoe.....\$150/Hr.
 Project Architect.....\$100/Hr.
 Drafter.....\$75/Hr.

LEE • JAGOE ARCHITECTURE

I N C O R P O R A T E D

Mark B. Lee, Architect C012684
David E. Jagoe

2291 W. March Lane, Suite #B-200 • Stockton, CA 95207
(209) 957-9254 • FAX (209) 957-9347 • mlee@ljarch.com

REIMBURSABLE EXPENSES

The Fixed and Hourly Fees do not include Reimbursable Expenses of:

- All printing and reproduction
- CAD plotting at \$10/sht
- Photography and photographic reproduction
- Travel expenses and mileage outside of the Discovery Bay/Stockton area
- Delivery services and express mail costs
- Engineers and consultants; and
- Government permits and plan check fees

Reimbursable expenses and engineering and consultant fees will be billable at 1.25 times invoice. Mileage will be reimbursed at \$0.50 per mile outside of the Discovery Bay/Stockton area.

Please contact us with any questions. We would appreciate a signed copy from you, acknowledging the above information.

Regards,

Acknowledged and Accepted by:

Mark B. Lee
President/Architect

Rick Howard
Town of Discovery Bay

General Manager/Authorized Agent



Town of Discovery Bay

"A Community Services District"

AGENDA REPORT

Meeting Date

January 4, 2012

Prepared By: Rick Howard, General Manager
Submitted By: Rick Howard, General Manager *RH*

Agenda Title

Transmittal of Communications Committee Final Report to the Board of Directors

Recommended Action

As necessary

Executive Summary

On March 16, 2011 the Board of Directors of the District appointed President Graves and Director Steele, as well as at-large Discovery Bay residents Amanda Dove, Chris Middleton, and Jennifer Mixon to serve on the Communications Committee.

The Communications Committee met on a number of occasions and discussed a variety of methods in the hopes of improving communications between the District and the community.

The Committee report is attached.

Fiscal Impact:

Amount Requested \$

Sufficient Budgeted Funds Available?: (If no, see attached fiscal analysis)

Prog/Fund # Category: Pers. Optg. Cap. -or- CIP# Fund#

Previous Relevant Board Actions for This Item

March 16, 2011 appointment of Communications Committee

Attachments

Report and recommendations to Board of Directors

AGENDA ITEM: L-2



TOWN OF DISCOVERY BAY

A COMMUNITY SERVICES DISTRICT

President - Kevin Graves • Vice-President - Chris Steele • Director - Brian Dawson • Director - Mark Simon • Director - Ray Tetreault

To: Board of Directors
From: Communications Committee
Date: January 4, 2012
Subject: Recommendations of the Communications Committee

At the January 22, 2011 Town of Discovery Bay Community Services Towns' Community Workshop, there were a number of topics that were discussed and that the Board of Directors wished to explore further. One of those items was the desire to improve the method and manner in which the Town of Discovery Bay CSD communicates its activities, information, and mission to the public.

On March 16, 2011 the Board of Directors of the Town appointed President Graves and Director Steele, and at-large Discovery Bay residents Amanda Dove, Chris Middleton, and Jennifer Mixon to serve on the Communications Committee.

The Committee conducted their first meeting on July 20, 2011 and has held monthly meetings since that time.

REVIEW OF CURRENT EXTERNAL COMMUNICATION PRACTICES:

In an effort to improve communications between the Town of Discovery Bay CSD and the community, the Board of Directors, in 2010, approved a contract with a vendor to improve and enhance the Town's website. All Board of Director's meetings are recorded and posted to the website as well as all meeting agendas, Requests for Proposals, and many other documents that may be of interest to the community. Town staff continually adds fresh content to the site in an effort to provide as much information to the community as possible.

It was the assessment of the Committee that there is some confusion within the community about the Town of Discovery Bay Community Services Town's (TODB) name, its role and its responsibilities. Many residents believe that the TODB provides services beyond those that are actually offered. The TODB provides domestic water collection, treatment and distribution; wastewater collection, treatment and discharge; and parks and landscape services to the community.

Numerous residents don't know what services are offered by the Community Services Town and countless others erroneously believe that the Town provides municipal responsibilities such as land use; public works, and economic development, to name a few.

As a consequence, the Committee discussed using the legal name of the Town – the "Town of Discovery Bay" in correspondence, letterhead, and official documents. It is the belief of some on the committee that using the name "Town of Discovery Bay Community Services Town" provides greater overall confusion to the public. It should be noted, however, state law does require that "Community Services Town" be listed on all letterhead and business cards so that the type of public agency is clearly identified.

The Town provides annually to all homes in Discovery Bay a Water Quality Report that offers assurances to the community that the water they drink is safe from contaminants. In that report, space is provided to inform the community of activities and the role of the TODB. Other than this annual report, the TODB does not have a newsletter to reach out to the community to better inform them of the activities taking place throughout Discovery Bay that may be of interest to residents.

COMMUNICATIONS COMMITTEE IDENTIFIED PUBLIC OUTREACH OPPORTUNITIES AND RECOMMENDATIONS

The Communications Committee identified a variety of options that the Board of Directors of the TODB may want to consider in order to improve and enhance public outreach and communications throughout Discovery Bay. Those areas of interest to the Committee are:

- a) Engage the use of Social Media;
- b) Further enhance the use of the Town's Website;
- c) Develop and distribute a bi-annual TODB newsletter; and
- d) Consider placing an electronic message board in town

Social Media

The Committee recommends to the Board of Directors that the TODB engage the use of Social Media sites like Twitter and Facebook, among others, to allow residents the ability to "follow", or receive updates from the Town relative to events, meetings, and other items that may be of universal interest to the community.

This recommendation can be implemented free of charge as social media sites do not charge a fee for their use. A simple link on the Town website to social media sites is all that is needed to begin the process. It will, however, be necessary for the Town to sign-up for the social media sites, and then link those sites to the Town Website. A member of the Town staff will be required to regularly update the sites in order for them to be an effective means of communication.

It is also a goal that the Town's Website become "mobile friendly" as soon as is practical.

The Town's Website

The Town's new Website has been online for a little more than a year. In that timeframe, staff has identified a number of areas that with minor modifications will make the site more user friendly, as well as provide improved locations to post material that is of interest to the community. Most of those changes have either been executed or are in the process of being implemented at this time.

Newsletter Development

The committee recommends implementing a bi-annual newsletter featuring issues related to the Town, its mission and activities. The newsletter would be developed in-house and sent to a mailing facility for printing, preparation (folding and sorting) and mailing. The estimated cost for a four (4) page full color newsletter is approximately \$2,300 per issue.

The Committee believes that a newsletter will provide a valuable and cost effective method of getting the word out about the role the Town plays in Discovery Bay, the services offered, and present and future projects.

Electronic Message Board

The Committee recommends the Town purchase and install an electronic message board to be placed at the northwest corner of Highway 4 and Bixler Road. The message board will provide up-to-date messages regarding meetings, events, services and activities taking place throughout Town. The estimated cost to purchase, ship and install a sign of this nature is approximately \$40,000. The Committee recommends that this item be further evaluated and included in the FY 2012-13 Capital Improvement Program Budget.

Summary

The Communications Committee would like to thank the Board of Directors for allowing them to be a part of the community dialog and hopefully their efforts will result in enhanced levels of communication between the Town and the general public.



TOWN OF DISCOVERY BAY

A COMMUNITY SERVICES DISTRICT

President - Kevin Graves • Vice-President - Chris Steele • Director - Brian Dawson • Director - Mark Simon • Director - Ray Tetreault

**MINUTES OF THE REGULAR MEETING OF
THE COMMUNITY CENTER COMMITTEE
OF THE TOWN OF DISCOVERY BAY CSD
November 8, 2011**

REGULAR MEETING 3:00 P.M.

1800 Willow Lake Road, Discovery Bay, California

Website address: www.todb.ca.gov

Community Center Committee Members

Ray Tetreault, Chair; Chris Steele, Vice Chair; Bob Abbadie, Sean O'Toole, Jim Mattison

REGULAR MEETING 3:00 P.M.

A. ROLL CALL

Call business meeting to order 3:03 p.m. by Vice Chairman Steele and all members were present with the exception of Committee member Tetreault and O'Toole. Committee member O'Toole arrived at 3:05 p.m.

B. PUBLIC COMMENTS (Individual Public Comments will be limited to a 3-minute time limit)

Resident Don Flint addressed the Committee requesting that Committee meetings be recorded.

Byron Union School District (BUSD) Board member Jill Sprinkle informed the committee that there is a new gymnasium being constructed at Excelsior School, as well as a recently completed auditorium for performing arts and related activities. Ms. Sprinkle indicated that she wanted to make certain that the School District and the CSD do not have competing services.

C. APPROVE MINUTES

1. Minutes of previous Community Center meeting dated October 18, 2011

Motion by: Member Abbadie to approve the minutes of the October 18, 2011 Community Center Committee meeting

Second by: Member Mattison

Vote: Motion carried – AYES: 4, NOES: 0, ABSENT: 1 – Tetreault

D. BUILDING TYPES/CONSTRUCTION TECHNIQUES

General Manager Howard introduced Mark Lee, a local architect. Mr. Lee was commissioned by the Discovery Bay Lion's Club to develop the initial set of community center plans.

Mr. Lee identified four (4) types of building techniques – Concrete/Concrete block; concrete/masonry; wood construction; and steel frame. Based upon cost, Mr. Lee recommends wood construction as being the most cost efficient.

Mr. Lee estimated that the construction cost for the facility would be approximately \$125/sq.ft. He did state that it would be a "plain vanilla" facility at that cost. Additionally, that cost does not take into account prevailing wage.

There was a discussion between the Committee, Mr. Lee, and the Public.

Mr. Jeff Barber asked questions about seating capacity and fabric buildings.

Mr. Don Flint asked questions about the twelve (12) Lots and prevailing wage.

E. FUNDRAISING AND FOUNDATION OPPORTUNITIES

Mr. Bob Zuer of Development Management Associates provided a presentation regarding the establishment of a Community Foundation to possibly be the fundraising arm of the Community Center Project. Mr. Zuer explained the process of obtaining the proper state and federal approvals to create a non-profit foundation.

Mr. Zuer further explained the process and the methodology associated with foundations, and what makes them successful.

The discussion continued between the Committee, the Public, and Mr. Zuer.

F. REPORT ON ACTION OF THE BOARD OF DIRECTORS AT THE NOVEMBER 2, 2011 REGULAR MEETING

General Manager Howard updated the Committee on the action of the Board at their meeting on November 2, 2011. The Board directed two (2) Board Members, and the General Manager, to meet with the County and the Hofmann Company to discuss the twelve (12) Lots and a possible alternative location.

G. PRELIMINARY DRAFT – COMMITTEE REPORT TO THE BOARD OF DIRECTORS

General Manager Howard stated that he had taken the information from prior Committee meetings and has developed a draft report from the Committee to the Board. The General Manager stated that he would email the draft report to the Committee for their input and feedback.

H. REVIEW PROJECT PLAN AND MILESTONE SCHEDULE

Committee member O'Toole presented and updated the Committee on the Project Plan and Milestone Schedule.

I. SET COMMITTEE CALENDAR

The next Community Center Committee meeting is scheduled for Tuesday, November 29, 2011 at 3:00 p.m.

J. FUTURE DISCUSSION/AGENDA ITEMS

Provide an update and status report to the Committee regarding the Hofmann/County/TODBCSD discussions.

L. ADJOURNMENT

The meeting was adjourned at 4:38 p.m. to next Community Center meeting on November 29, 2011 at 3:00 p.m. located at 1800 Willow Lake Road – in back of the Delta Community Presbyterian Church.

RH/cmc – 11.16.11

**PLEASE NOTE – The date of the next meeting has been changed to
Thursday December 1, 2011 at 3:00 p.m.**



TOWN OF DISCOVERY BAY

A COMMUNITY SERVICES DISTRICT

President - Kevin Graves • Vice-President - Chris Steele • Director - Brian Dawson • Director - Mark Simon • Director - Ray Tetreault

MINUTES OF THE REGULAR MEETING OF
THE COMMUNICATIONS COMMITTEE
OF THE TOWN OF DISCOVERY BAY CSD
Wednesday November 16, 2011
REGULAR MEETING 5:30 P.M.
1800 Willow Lake Road, Discovery Bay, California
Website address: www.todb.ca.gov

Communications Committee Members

Kevin Graves, Chair; Chris Steele, Vice-Chair; Amanda Dove; Jennifer Mixon; Chris Middleton

REGULAR MEETING 5:30 P.M.

A. ROLL CALL

The meeting was called to order at 5:32 P.M. by Board President Graves. All Committee Members were present.

B. PUBLIC COMMENTS (Individual Public Comments will be limited to a 3-minute time limit)

There were no Public Comments.

C. APPROVE MINUTES

1. Minutes of previous Communications meeting dated October 19, 2011

Motion by: Committee Member Middleton

Seconded by: Member Steele,

Vote: Motion Carried – AYES: 4, NOES: 0, ABSTAIN – 1 Dove

D. REVIEW DRAFT RECOMMENDATIONS REPORT TO BOARD OF DIRECTORS

There was one public speaker – Mr. William Richardson asked that the Committee meetings be recorded; inquired about the name of the Town of Discovery Bay Community Services District; and commented about the purpose of the committee.

The General Manager presented the draft recommendations report to the committee. After reviewing the report, the committee made a number of comments and suggested that they come back after a more thorough review. The General Manager indicated he would email the report to the committee and asked that they provide input and feedback to him in order to draft the final report for Board considerations.

E. SET COMMITTEE CALENDAR

The next committee meeting was set for Tuesday, December 6, 2011 at 5:00 pm.

F. FUTURE DISCUSSION/AGENDA ITEMS

Draft final Communications Committee report to Board

G. ADJOURNMENT

1. The meeting was adjourned 6:12 p.m. to the next Communications Committee meeting located at 1800 Willow Lake Road – in back of the Delta Community Presbyterian Church.

RH/cmc – 11.17.11

TownOfDiscoveryBy CSD
Received
DEC 08 2011

STATE ROUTE 4 BYPASS AUTHORITY
Antioch - Brentwood - Oakley and Contra Costa County

JOINT EXERCISE OF POWERS AGENCY

MINUTES
November 10, 2011

The STATE ROUTE 4 BYPASS AUTHORITY meeting was called to order in the Tri Delta Transit Meeting Room, 801 Wilbur Avenue, Antioch, California by Chair Jim Frazier at 8:22 P.M.

ROLL CALL

PRESENT: Mary Piepho (Contra Costa County Board of Supervisors), Robert Taylor (Brentwood), and Chair Jim Frazier (Oakley)

ABSENT: Brian Kalinowski (Antioch)

STAFF: Dale Dennis, Program Manager
David Schmidt, Legal Counsel

PUBLIC COMMENT

There were no comments from the public.

CONSENT ITEMS

On motion by Director Piepho, seconded by Director Taylor, the Authority unanimously adopted the Consent Items, as follows:

- A. APPROVED Minutes of October 13, 2011 meeting.
- B. APPROVED amendments to Consulting Services Agreements with the following consultants (no payment limit increases) to extend the term of the existing agreements through the dates listed below, and AUTHORIZED the Secretary or designee to sign the amendments on behalf of the Authority:
 - 1. Parsons Brinckerhoff – Construction Management Services (June 30, 2012)
 - 2. Ray Zwemmer – Right-of-Way Engineering Support for SR4 Bypass Transfer (January 30, 2012)

C. THE AUTHORITY TOOK THE FOLLOWING ACTIONS:

1. DETERMINED that the real property described in Exhibit "A" (to the staff report dated November 10, 2011) to be excess and no longer necessary for State Route 4 Bypass purposes.
2. APPROVED the conveyance of said excess property, to the City of Brentwood, pursuant to Government Code Section 960.
3. AUTHORIZED the Secretary, or designee, to execute the Grant Deed attached to the staff report.
4. DIRECTED the Real Property Division to deliver the Deed to the City of Brentwood for acceptance and recording.

DETERMINATION ITEMS

- A. APPROVE a Memorandum of Understanding (MOU) between the Authority and the Contra Costa Transportation Authority (CCTA) to provide for the project management, environmental clearance, utility relocation, design, and construction of the SR4 Bypass/Sand Creek Interchange and 4-Lane Widening project and the SR4/SR160 Connector Ramps project and for the apportionment of the respective project duties between the Authority and CCTA, and AUTHORIZE the Chair to sign the MOU on behalf of the Authority.

Steve Kowalewski, Contra Costa County Deputy Public Works Director, advised that the MOU had been reviewed by the SR4 Bypass Authority Board on October 13, which had approved it in concept. The final language had been negotiated with the CCTA. He requested final approval of the MOU by the Board with the Chair's signature.

On motion by Director Taylor, seconded by Director Piepho, the Authority unanimously APPROVED a Memorandum of Understanding (MOU) between the Authority and the Contra Costa Transportation Authority (CCTA) to provide for the project management, environmental clearance, utility relocation, design, and construction of the SR4 Bypass/Sand Creek Interchange and 4-Lane Widening project and the SR4/SR160 Connector Ramps project and for the apportionment of the respective project duties between the Authority and CCTA, and AUTHORIZED the Chair to sign the MOU on behalf of the Authority.

- B. RECEIVE Status Report on the State Route 4 Bypass Projects

Mr. Dennis advised that the focus over the last month was working with Caltrans on the transfer of the SR4 Bypass, which based on the latest information from Caltrans, was still scheduled for the January meeting of the California Transportation Commission (CTC).

As to the work in the SR4 Bypass corridor, Mr. Dennis reported that the punch list work was underway and expected to be completed on November 10, 2011. The East Bay Municipal Utility District (EBMUD) Aqueduct work was completed. The poles had been erected for a relocation of PG&E's 21 kv line at Sand Creek with the wires to be installed in mid November. With the completion of the EBMUD work and the PG&E work, the utility work with the Sand Creek and 4-Lane Widening project would be completed.

When asked, Mr. Dennis reported that he and City of Brentwood staff had been working with Dick Sestero of West Coast Homes over the last month. As a result, it had been determined that the utility work associated with the West Coast Homes project would be included in the construction package for the Sand Creek Interchange project through an agreement between the CCTA and West Coast Homes for reimbursement as part of the interchange package next spring, to be done as an addendum to avoid delays in moving the project on to construction.

BOARDMEMBER COMMENTS

There were no Boardmember comments.

CORRESPONDENCE

There was no correspondence.

ADJOURNMENT

With no further business to come before the State Route 4 Bypass Authority, Chair Frazier adjourned the meeting at 8:31 P.M. to the next meeting scheduled for Thursday, December 8, 2011.

Respectfully submitted,

Anita L. Tucci-Smith
Minutes Clerk



OFFICE OF THE DISTRICT ATTORNEY
CONTRA COSTA COUNTY

Mark A. Peterson
DISTRICT ATTORNEY

December 13, 2011

William R. Richardson
1774 Seal Way
Discovery Bay, CA 94514

RE: Discovery Bay CSD Closed Session Notice of 11-16-11

Dear Mr. Richardson:

Thank you for your letter of November 29, 2011. According to the agenda for the November 16, 2011 special meeting of the Town of Discovery Bay CSD Board of Directors, Item D-2 called for a closed session of the Board meeting due to anticipated litigation pursuant to Government Code section 54956.9, subdivision (b). This agenda description is sufficient according to the specific language of that section.

Although the description does not provide the name, date or issue that is the subject of anticipated litigation, the Brown Act does not require it. In fact, section 54954.5 provides a model agenda entry to describe a closed session pursuant to Government Code section 54956.9(b) that appears to have been followed in this case. Similarly, it appears that the announcement made prior to the closed session of Government Code section 54957.7 was also in compliance with that section as set forth in the second sentence of subdivision (a) ("The disclosure may take the form of a reference to the item or items as they are listed by number of letter on the agenda").

Therefore, based upon my analysis of the facts and law, the meeting of November 16, 2011 was held in compliance with the Brown Act.

Sincerely,

MARK A. PETERSON
District Attorney

Steven C. Bolen
Deputy District Attorney

cc: Daniel J. Schroeder, Neumiller & Beardslee

Special Operations Division
900 Ward Street, Fourth Floor
P.O. Box 670
Martinez, California 94553

(925) 957-8604
Fax (925) 646-4683

William R. Richardson

TOWN OF DISCOVERY BAY
RECEIVED
(2-1)

November 29, 2011

Mark A. Peterson, District Attorney
CONTRA COSTA COUNTY
900 Ward Street
Martinez, CA 94553

Re: Illegal Closed Session Notice - November 16, 2011
DEMAND TO ACKNOWLEDGE AND ABANDON

Dear District Attorney Peterson:

Enclosed is a copy of my November 29, 2011 letter with the same subject as above.

The Town of Discovery Bay Community Services District has been violating the Brown Act and abusing the requirements for closed sessions on many occasions and in numerous different ways for years.

I believe that the particular incidence of November 16, 2011 is particularly clear and includes all of the irrefutable "proof" that we could hope to acquire to get the District, and its enabling counsel, to obey the law.

Based on all of my experience with the CSD and NEUMILLER & BEARDSLEE, I have no expectation that they will react as they should to my enclosed letter. They are too emboldened in their corrupt practices and I have no authority, short of litigation. I need your help on this matter.

I fully recognize the shortage of resources. I do not even know your priorities, but I am sure that the matter herein would be near the bottom.

However, it is just representative of a pervasive corruption that continues to spread.

I believe that I have assembled all of the records with the enclosed letter to convince any reasonable person to acknowledge and abandon the illegal practices surrounding the November 16, 2011 Notice. If you need anything further, let me know.

All that I hope from you is a letter to the CSD Board saying something like:

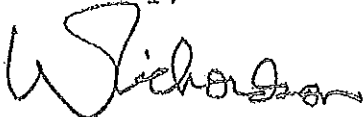
You have reviewed the information provided in my letter and, on the face of it, you believe that the November 16, 2011 Notice did not comply with the Brown Act. Anything else you can add that your office is concerned, but you believe that you need not get more deeply involved if the District will just choose to do the right thing, etc., is welcome.

Mark A. Peterson, District Attorney
November 29, 2011
Page two

I hope, and believe, that the spectre of your involvement will begin to erode the emboldening that now prevails.

We desparately need your help! I will appreciate hearing from you.

Sincerely,



William R. Richardson

enclosure

cc: Jeffrey J. Barber	w/enclosure
Mark Doran	do.
Don Flint	do.
Rich Kler	do.

William R. Richardson

November 29, 2011

VIA FACSIMILE
(925) 513-2705
AND US MAIL

J. Kevin Graves, President
Cris Steele, Vice President
Mark Simon, Director
Ray Tetreault, Director
Brien Dawson AKA Brian Dawson, Director
Richard J. Howard, General Manager
TOWN OF DISCOVERY BAY
A COMMUNITY SERVICES DISTRICT
1800 Willow Lake Road
Discovery Bay, CA 94505

Re: Illegal Closed Session Notice - November 16, 2011
DEMAND TO ACKNOWLEDGE AND ABANDON

Gentlemen:

My November 16, 2011 letter (enclosed) to you pointed out that item D,2, on the Notice and Agenda of the November 16, 2011 Special Meeting (enclosed), continued your failure to comply with THE RALPH M. BROWN ACT ("ACT" herein) §54957.7. "Announcement prior to closed sessions" (enclosed).

I specifically requested your provision of the required, but missing, information: The NAME of the person involved, the ISSUE involved and the DATE of the issue.

You ignored my letter, as usual.

During the PUBLIC COMMENT portion of the actual meeting, I spoke and again requested orally that you provide the information requested in my November 16 letter.

President Graves, you responded to my comments by saying that "The information as required by the Brown Act is in...the agenda..."

You are wrong, Mr. Graves. You squandered an opportunity to set such matters on a lawful track, as is clearly illustrated herein you should have done.

NEUMILLER & BEARDSLEE is also wrong on this, one more of many examples of, abuse related to closed sessions. That firm even inexplicably violates its own advice.

The enclosed copy of the ACT §54957.7 requires the disclosure, in an open meeting, of the item or items to be discussed in the closed session. This is the law which you are required to obey, but are not.

To avoid a torturous legal analysis of the word "item," I also enclose the pages listed below which are taken from NEUMILLER & BEARDSLEE's latest "A Public Official's Guide to the Brown Act" ("Guide" herein). This Guide is bound in the CSD's DIRECTOR'S HANDBOOK, so it is readily available to you.

Board Members & General Manager
November 29, 2011
Page two

The following pages very adequately explain NEWMILLER & BEARDSLEE's advice concerning what is required by the ACT regarding this matter, and makes clear that the following entry on the enclosed November 16, 2011 Notice is neither adequate nor legal (contrary to your assertion, Mr. Graves):

"Significant exposure to litigation pursuant to subdivision (b) of Section 54956.9: one potential case."

Obviously that statement tells the public nothing. It does not provide the NAME, the ISSUE or the DATE. It could easily have done so.

With reference to the enclosed pages from the GUIDE, I have underlined the most pertinent parts of them to the matter at hand and summarized them here: (emphases added)

Page 4 - "...substantial notice...requirements must be complied with prior to...a closed session."

Page 5 - "...the agenda must describe the items to be discussed..."

Page 10 - "The public has a right to know the nature of matters that will be discussed..."

Page 12 - "Remember, it is always better to err on the side of openness to protect your self."

I repeat, the statements on all of these pages are applicable to closed sessions. And, what good are these lofty precepts in the Guide when they are consistently ignored?

Unfortunately, it is typical for the greater majority of your closed sessions, including the one on November 16, for NEUMILLER & BEARDSLEE to blatantly ignore its own advice. That practice gives rise to confusion of the public, criticisms, objections, waste of time and rate payers' funds and the potential of litigation to "force" you to follow the very laws and procedures which NEUMILLER & BEARDSLEE's own GUIDE advises that you follow.

Does any of that make sense to any of you? Yet that is precisely where your conduct brings us.

The disconnect here is incomprehensible. What could possibly motivate NEUMILLER & BEARDSLEE to ignore its own advice when doing so causes you, Mr. Graves, to be misled and make erroneous statements in that firm's presence, just as you did at the November 16 Special Meeting, and for you to issue Notices for the meeting which are in complete violation of the ACT and that firm's GUIDE? Does any of that make sense?

Board Members & General Manager
November 29, 2011
Page three

The ACT requires, and the GUIDE echos, the people's right to know the nature of the matters to be discussed in closed session, and to become aware of the nature by having it disclosed both on the agenda (days before the Special Meeting) and orally during open session. That allows whoever desires to come prepared to participate in the matter as much as is allowed. Your corrupt method allows no such participation.

Your typical secret and illegal practice was repeated on November 16 when, a few seconds before going into closed session, for the first time, NEUMILLER & BEARDSLEE orally announced the nature of the matter in item D,2 on the agenda as follows (taken from the meeting's audio record):

"Item D,2, that involved a claim filed under the claims act for damage caused to a driveway and landscaping involving a water leak at an address of 4100 Windward Court at Discovery Bay that occurred earlier this year. Claimant is seeking \$4,000 in damages."

My understanding of NEUMILLER & BEARDSLEE's GUIDE is that it advises you to put at least a condensed version of that announcement in the published Notice & Agenda.

- Why wasn't it?
- President Graves, do you now agree that your statement on November 16 (that the information as required by the Brown Act is in the agenda...) was in error?

The people had no idea what item D,2 was all about until Mr. Schroeder spoke and only those in the room heard him, and it was too late. No one was allowed to question or comment on it, and in just seconds you closed the open meeting and went into closed session.

The process you used totally violated the ACT as well as NEUMILLER & BEARDSLEE's written advice (the GUIDE). It was neither open, transparent, legal nor necessary.

It unnecessarily sets the District up for litigation from any one who chooses to pursue that avenue. How can that be in the best interest of the people of Discovery Bay? What does it accomplish? What calamity would befall anyone if you just obeyed the law and included the description of the nature of D,2 on the Notice?

I, for one resident of Discovery Bay, am tired of seeing time and rate payers' funds being wasted trying to get the consumer of thousands of dollars of legal fees to obey the law and comply with its own advice.

Board Members & General Manager
November 29, 2011
Page four

I believe that the November 16, 2011 Special Meeting includes all of the ingredients for the people to take a stand on:

- The Notice did not comply with the ACT.
- The Notice did not comply with Counsel's GUIDE.
- You were timely notified in writing of the violation and given an opportunity to correct it.
- You were notified orally in PUBLIC COMMENTS of the violation.
- President Graves had all the facts of the matter in hand, he made a statement on the record which was wrong and, instead of correcting the matter at the last minute, squandered that opportunity and perpetuated the illegal behavior.
- The entire matter is on the written record and on the audio record of the November 16, 2011 meeting. It is not a matter of opinion.

This kind of conduct by you, enabled by counsel, can not be tolerated any longer. Neither can your habit of ignoring matters like this in your belief that they will go away if swept under the rug.

I hereby demand that:

1. The Board issues a written acknowledgement that the manner in which the Notice and Agenda for item D,2 on the November 16, 2011 Special Meeting was in violation of §54957.7 of the ACT.

The Board includes in this acknowledgement that it will, from now on, faithfully comply with the requirements of §54957.7 regarding all closed sessions.

2. The Board be on notice regarding my concern, frequently conveyed to you, that NEUMILLER & BEARDSLEE is being paid rate payers' funds for bad advice, and then is paid even more rate payers' funds to clean up the consequences of the bad advice. That is fiscally irresponsible on your part.

My September 2, 2011 PUBLIC RECORDS REQUEST, "Sweeping the Notice of the 8/17/2011 Special Meeting in Violation of the Brown Act under the rug," item #3, asked for all records of costs, fees, etc., related to preparing and defending the faulty NEUMILLER & BEARDSLEE Notices.

I just received your response to my Request yesterday, November 28. My brief review of the records reveals that it is not responsive to my Request, the costs and fees are not identifiable to NEUMILLER & BEARDSLEE Notices and are, therefore, useless. The ball is in your court.

Board Members & General Manager
November 29, 2011
Page five

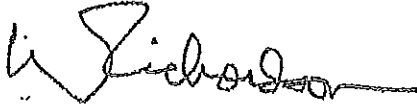
It appears to me that you have two choices. 1) You can admit your mistake and pledge to faithfully obey the law in the future, or 2) You can continue your past corrupt conduct of arrogantly ignoring the law.

If you choose the latter, you expose the people of Discovery Bay to the potential of the costs and embarrassment of litigation.

Isn't the proper choice obvious?

May I have your decision by return mail, preferably not from NEUMILLER & BEARDSLEE?

Sincerely,



William R. Richardson

enclosures

cc: Grand Jury
District Attorney
Paul Burgarino

w/enclosures
do.
do.

William R. Richardson

November 16, 2011

VIA FACSIMILE
(925) 513-2705
AND US MAIL

J. Kevin Graves, President
Chris Steele, Vice President
Mark Simon, Director
Ray Tetreault, Director
Brien Dawson AKA Brian Dawson, Director
Richard J. Howard, General Manager
TOWN OF DISCOVERY BAY CSD
1800 Willow Lake Road
Discovery Bay, CA 94505

Re: Illegal Closed Session Notice

Gentlemen:

The notice of item D,2 on the enclosed Notice And Agenda of the Special Meeting of November 16, 2011 continues your failure to comply with the easy to understand requirements of BROWN ACT §54957.7. "Announcement prior to closed sessions." A copy is enclosed.

What is missing in your Notice is simple, easy to add and would actually inform the people of Discovery Bay of what you are up to. Concerning the "item" to be discussed, it only needs to include:

The NAME of the person involved, the ISSUE involved and the DATE the issued was raised.

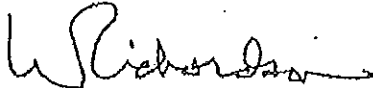
You must have that information. Providing that information will allow the public to decide whether or not they want to attend and comment before the Closed Session and/or hear the report after the Closed Session.

Without that information, your reference to "subsection (b) of Section 54956.9: one potential case," tells the public nothing concerning what the matter is about. That is consistent with your pattern of operating in secrecy.

What possible calamity could befall the CSD if you added the NAME, ISSUE and DATE to your Notice? I suggest "none."

A great benefit would be your change to obeying the law and performing with transparency. Please do so.

Sincerely,



William R. Richardson

enclosures

cc: Grand Jury
District Attorney
Paul Burgarino

w/enclosures
do.
do.



TOWN OF DISCOVERY BAY

A COMMUNITY SERVICES DISTRICT

President - Kevin Graves • Vice-President - Chris Steele • Director - Brian Dawson • Director - Mark Simon • Director - Ray Tetreault

NOTICE, CALL, AND AGENDA OF THE SPECIAL MEETING
OF THE BOARD OF DIRECTORS OF THE
TOWN OF DISCOVERY BAY GSD
Wednesday November 16, 2011
1800 Willow Lake Road, Discovery Bay, California
SPECIAL MEETING 6:30 P.M.
Website address: www.todb.ca.gov

SPECIAL MEETING AT 6:30 P.M.

- A. ROLL CALL
1. Call business meeting to order 6:30 p.m.
 2. Roll Call
- B. PUBLIC COMMENT
During Public Comments, the public may address the Board on any item that is described in the agenda. The public may comment on any action item on the agenda at the time that item is taken up. Any person wishing to speak must come up and speak from the podium. Any clarifying questions from the Board must go through the Chair.
- C. OPEN SESSION DISCLOSURE OF CLOSED SESSION AGENDA
(Government Code Section 54957.7)
- D. CLOSED SESSION:
1. CONFERENCE WITH LEGAL COUNSEL -- EXISTING LITIGATION (Subdivision (a) of Section 54956.9)
Case Name: Daniel McKee v. Town of Discovery Bay GSD and York Services Group, Inc., WCAB Case No.: Unassigned
 2. CONFERENCE WITH LEGAL COUNSEL -- ANTICIPATED LITIGATION
Significant exposure to litigation pursuant to subdivision (b) of Section 54956.9; one potential case
- E. RETURN TO OPEN SESSION; REPORT ON CLOSED SESSION
(Government Code Section 54957.1)
- F. ADJOURNMENT
1. Adjourn to the regular meeting on November 16, 2011 at 1800 Willow Lake Rd -- Located in back of Delta Community Presbyterian Church.

"This agenda shall be made available upon request in alternative formats to persons with a disability, as required by the American with Disabilities Act of 1990 (42 U.S.C. § 12132) and the Ralph M. Brown Act (California Government Code § 54954.2). Persons requesting a disability related modification or accommodation in order to participate in the meeting should contact the Town of Discovery Bay, at (925)834-1131, during regular business hours, at least twenty-four hours prior to the time of the meeting."

"Materials related to an item on the Agenda submitted to the Town of Discovery Bay GSD after distribution of the agenda packet are available for public inspection in the District Office located at 1800 Willow Lake Road during normal business hours."



County Supervisor Mary Nejedly Piepho, District III

CONTRA COSTA COUNTY BOARD OF SUPERVISORS, VICE CHAIR

TownOfDiscoveryBay CSD
Received
DEC 19 2011

COMMITTEES

Internal Operations Committee, Chair

Transportation, Water and Infrastructure Committee, Chair

Contra Costa Regional Medical Center, Joint Conference Committee and Professional Affairs Committee, Chair

Sacramento-San Joaquin Delta Conservancy, Chair

Airport Committee, Vice Chair

Delta Counties Coalition

Delta Protection Commission

Central Contra Costa Solid Waste Authority

East Bay Economic Development Alliance

Tri-Valley Transportation Committee

Dougherty Valley Oversight Committee

Doctors Medical Center Management Authority Governing Board, Joint Powers Authority

City-County Relations Committee

SERVING AS ALTERNATE

Local Agency Formation Commission

Contra Costa Transportation Authority

Association of Bay Area Governments

East Contra Costa Regional Fee and Finance Authority

East County Water Management Association

eBART Partnership Policy Advisory Committee

East Contra Costa County Habitat Conservation Plan, Executive Governing Board

Mental Health Commission

San Joaquin Valley Rail Committee

State Route 4 Bypass Authority

South West Area Transportation

TRANSPAC, Central County Transportation Partnership and Cooperation

TRANSPLAN, East County Transportation Planning

December 13, 2011

Kevin Graves, President
Town of Discovery Bay CSD
1800 Willow Lake Road
Discovery Bay, CA 94505

Dear President Graves and Members,

Please find enclosed several Board Orders from the December 13, 2011 Board of Supervisors' meeting that I believe will be of interest to the Town of Discovery Bay Community Services District.

- 1.) November 29, 2011 Increase Contingency Fund to \$98,375, & ACCEPTANCE & Giving Notice of Completion of Contract for the Byron Hwy. Shoulder Widening, Proj. #0662-6R4021.
- 2.) November 10, 2011 Update on Delta Issues.

Please feel free to contact my office regarding this or any additional matter at (925) 240-7260.

As always, it is an honor to serve you on the Contra Costa County Board of Supervisors.

Sincerely,

MARY N. PIEPHO
County Supervisor, District III

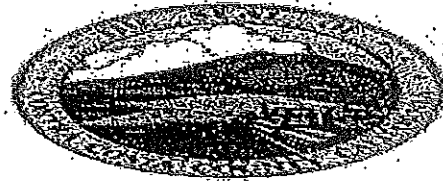
MNP: kc

PDF Return Previous Next

C. 7

To: Board of Supervisors

From: Julia R. Bueren, Public Works Director/Chief Engineer



Contra Costa County

Date: November 29, 2011

Subject: Increase Contingency Fund to \$98,375, & ACCEPTANCE & Giving Notice of Completion of Contract for the Byron Hwy. Shoulder Widening, Proj. # 0662-6R4021

RECOMMENDATION(S):

APPROVE the Byron Highway Shoulder Widening project contingency fund increase of \$45,000 for a new contingency fund total of \$98,375 and new payment limit of \$632,133 and ADOPT Resolution No. 2011/494 accepting as complete the contracted work performed by RGW Construction, Inc., for the Byron Highway Shoulder Widening, as recommended by the Public Works Director, Byron area. Project No. 0662-6R4021.

FISCAL IMPACT:

The project contingency funds are currently insufficient to cover the increased costs. Total project cost is funded by 97.8% Proposition 1B funds and 2.2% Local Gas Tax funds.

BACKGROUND:

The contingency fund increase is necessary to compensate the contractor for various items of extra work necessary for the construction of the project. The changes include mitigating unforeseen issues related to soft subgrade. The requested increase of \$45,000.00 will cover the cost for this extra work.

APPROVE RECOMMENDATION OF CNTY ADMINISTRATOR OTHER RECOMMENDATION OF BOARD COMMITTEE

Action of Board On: 12/13/2011 APPROVED AS RECOMMENDED OTHER

Clerks Notes:

I hereby certify that this is a true and correct copy of an action taken and entered on the minutes of the Board of Supervisors on the date shown.

ATTESTED: December 13, 2011

David J. Twa,

BY: [Signature], Deputy

VOTE OF SUPERVISORS

AYES NOES ABSENT ABSTAIN RECUSE

Contact: Kevin Emigh, (925) 313-2233

BACKGROUND: (CONT'D)

The Public Works Director reports that said work has been inspected and complies with the approved plans, special provisions and standard specifications and recommends its acceptance as complete as of November 23, 2011.

CONSEQUENCE OF NEGATIVE ACTION:

The contractor will not be paid and acceptance notification will not be recorded.

CHILDREN'S IMPACT STATEMENT:

Not Applicable.

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PDF Return Previous Next

C.106

To: Board of Supervisors

From: Transportation, Water and Infrastructure Comm

Date: November 10, 2011



Contra Costa County

Subject: Update on Delta issues

RECOMMENDATION(S):

RECEIVE status report on planning and policy issues for the Sacramento-San Joaquin River Delta, as recommended by the Transportation, Water and Infrastructure Committee.

FISCAL IMPACT:

NONE. This is an informational report to the Board.

BACKGROUND:

The Transportation, Water and Infrastructure Committee on November 9, 2011 determined to forward the attached report to the Board of Supervisors. The report provides an update on the many issues Contra Costa County is involved with regarding the Sacramento-San Joaquin River Delta.

As one of the five Delta counties, Contra Costa County actively participates in Delta-related planning efforts, legislation and policy issues, at the regional, state and federal levels. The attached report provides a status report on all of these efforts and highlights some key issues looming for 2012.

- APPROVE, RECOMMENDATION OF CNTY ADMINISTRATOR, OTHER, RECOMMENDATION OF BOARD COMMITTEE

Action of Board On: 12/13/2011 APPROVED AS RECOMMENDED OTHER

Clerks Notes:

I hereby certify that this is a true and correct copy of an action taken and entered on the minutes of the Board of Supervisors on the date shown.

ATTESTED: December 13, 2011

David J. Twa,

BY: [Signature], Deputy

VOTE OF SUPERVISORS

AYES, NOES, ABSENT, ABSTAIN, RECUSE checkboxes

Contact: John Greitzer, 925-335-1201

BACKGROUND: (CONT'D)

The Transportation, Water and Infrastructure Committee has recommended that the Board receive the report.

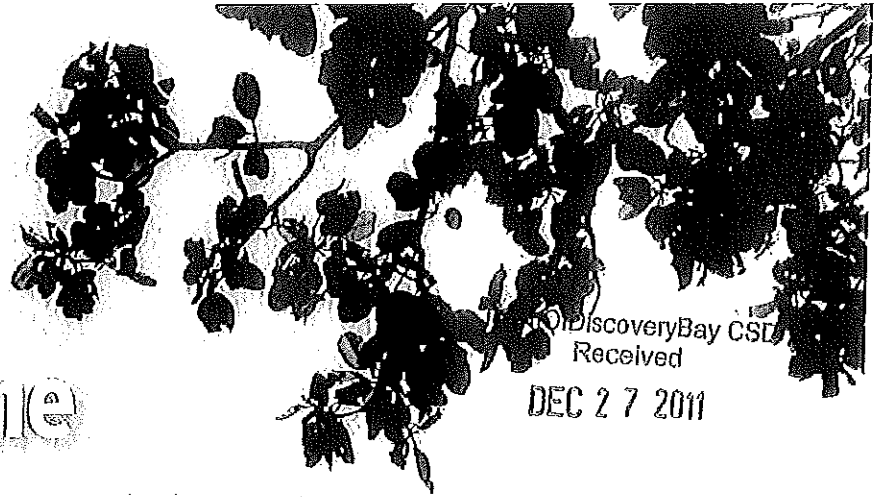
CONSEQUENCE OF NEGATIVE ACTION:

NONE.

CHILDREN'S IMPACT STATEMENT:

NONE.

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Discovery Bay CSU
Received
DEC 27 2011

Meet One-On-One with State Senator Mark DeSaulnier in Discovery Bay



- ▶ Do you have an idea, or need help with a problem involving a state agency?
- ▶ Do you want to give your opinion on legislation that affects your community?

Here's an opportunity for a personal meeting.

Date: Saturday, January 7, 2012

Time: 10 am – 1 pm

**Location: Discovery Bay Elementary School, Library
1700 Willow Lake Road
Discovery Bay, CA 94505**

No appointment necessary.

For more information, please call 925.942.6082.



California Regional Water Quality Control Board

Central Valley Region

Katherine Hart, Chair



Matthew Rodriguez
Secretary for
Environmental Protection

11020 Sun Center Drive, #200, Rancho Cordova, California 95670-6114
(916) 464-3291 • FAX (916) 464-4645
<http://www.waterboards.ca.gov/centralvalley>

Edmund G. Brown Jr.
Governor

Town of Discovery Bay CSD

Received

DEC 21 2011

12/21 Emailed to Risk, Uvy & Veronica

19 December 2011

Mr. Willie Sadler
Town of Discovery Bay CSD
1037 Discovery Bay Boulevard
Discovery Bay, CA 94514

NOTICE OF VIOLATION, RAW SEWAGE SPILLS, STATEWIDE GENERAL WASTE DISCHARGE REQUIREMENTS (WDRs) FOR SANITARY SEWER SYSTEMS, WATER QUALITY ORDER 2006-0003-DWQ, DISCOVERY BAY COLLECTION SYSTEM, WDID No. 5SSO10929, CONTRA COSTA COUNTY

The Discovery Bay Collection System which is owned and operated by Town of Discovery Bay CSD (Enrollee), is regulated under Waste Discharge Requirements (WDRs) Water Quality Order No. 2006-0003-DWQ (Sanitary Sewer Systems WDRs). Central Valley Water Board staff reviewed the certified reports submitted to the database by the legally responsible official regarding the Category 1 SSO(s) that occurred between 1 January 2011 to 1 December 2011. The SSO(s) are summarized in the following table.

CIWQS Violation ID	Date of Spill	Spill ID	Volume Spilled (gallons)
897242	4/23/2011	765824	100

CIWQS violation reports are publicly available at
http://www.waterboards.ca.gov/water_issues/programs/ciwqs/publicreports.shtml#sso

Category 1 SSOs are defined as discharges of sewage resulting from a failure in an Enrollee's sanitary sewer system that: 1) Equals or exceeds 1000 gallons, or 2) Results in a discharge to a drainage channel and/or surface water, or 3) Enters a storm drain system and is not fully captured and returned to sanitary sewer system.

The SSO(s) identified above are in violation of WDR Order 2006-003-DWQ as described below:

- Discharge Prohibition No. 2 of the WDRs states: "Any SSO that results in a discharge of untreated or partially treated wastewater that creates a nuisance as defined in California Water Code Section 13050(m) is prohibited."
- Furthermore, if the spill(s) reached surface waters, then the Enrollee has violated Discharge Prohibition No. 1, which states: "Any SSO that results in a discharge of untreated or partially treated wastewater to waters of the United States is prohibited."

- The Provisions section of the WDRs states: *"The Enrollee must comply with all conditions of this Order. Any noncompliance with this Order constitutes a violation of the California Water Code and is grounds for enforcement action."*

The Enrollee should take the appropriate actions to prevent future SSO occurrences, take all feasible steps to remediate the consequences of any future overflows and implement the provisions of the Sanitary Sewer Systems WDRs.

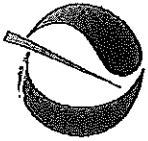
These violations are subject to possible further enforcement action by the Central Valley Water Board, including administrative enforcement orders, administrative assessment of civil liability in amounts up to \$10,000 per day, referral to the State Attorney General for injunctive relief, and referral to the District Attorney for criminal prosecution.

If you have any questions regarding this Notice of Violation, please contact Mohammad Farhad at (916) 464-1181 or mfarhad@waterboards.ca.gov

VICTOR VASQUEZ
Senior Water Resources Control Engineer
NPDES Compliance and Enforcement Unit

cc by email only:

Russell Norman, State Water Board, SSO Program, rnorman@waterboards.ca.gov
James Fischer, State Water Board, Office of Enforcement, jfischer@waterboards.ca.gov



California Regional Water Quality Control Board
Central Valley Region
Katherine Hart, Chair

Town of Discovery Bay CSD
Received
DEC 27 2011
Edmund G. Brown Jr.
Governor

11020 Sun Center Drive, #200, Rancho Cordova, California 95670-6114
(916) 464-3291 • FAX (916) 464-4645
<http://www.waterboards.ca.gov/centralvalley>

Matthew Rodriguez
Secretary for
Environmental Protection

23 December 2011

Richard Howard, General Manager
Town of Discovery Bay CSD
1800 Willow Lake Road
Discovery Bay, CA 94505

**SELF-MONITORING REPORT REVIEW AND NOTICE OF VIOLATION, TOWN OF
DISCOVERY BAY COMMUNITY SERVICES DISTRICT, WASTEWATER TREATMENT
PLANT, CONTRA COSTA COUNTY**

The discharge of wastewater by the Town of Discovery Bay Community Services District (Discharger) from its Wastewater Treatment Plant is regulated by Waste Discharge Requirements (WDRs) Order R5-2008-0179 (NPDES CA0078590). The Monitoring and Reporting Program (MRP) of the WDRs requires monitoring for constituents and other parameters and specifies the location and frequency of monitoring. Central Valley Water Board staff has reviewed the self-monitoring reports (SMRs) submitted by the Discharger for the monitoring periods **August 2011** and **September 2011**.

The Discharger has completed the eSMR² implementation process for the submittal of electronic reports through the State Water Board's CIWQS eSMR module. The Discharger now only submits electronic reports for its MRP annual, semi-annual, quarterly, and monthly SMR requirements. The electronic report is the legal document which Central Valley Water Board staff reviews for completeness and compliance with the WDRs.

The review of the SMRs identified the following violations:

Monitoring and Reporting Program Violations

1. On 2 November 2011, the Discharger reported to Board staff that a monitoring and reporting error was discovered during the quality assurance/quality control review process. During the past two years, the first monthly effluent chloride sample was collected as a composite sample instead of the grab sample required by the MRP. The second monthly sample was collected as a grab. Between January 2009 and November 2011, all effluent chloride samples were reported as grab samples in the monthly SMRs.

California Environmental Protection Agency



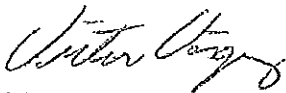
CIWQS Violation ID: 914959

AGENDA ITEM - M-6

The Discharger reported that the sampling error occurred as a result of the analytical laboratory mislabeling the chains of custody. The laboratory ensured that this will not occur in the future and will be providing correspondence that acknowledges the errors to Board staff. In addition, the cover letter indicates that the laboratory has reviewed its sampling program standard operating procedures to assure that the sampling error does not occur in the future.

2. According to the September 2011 SMR, there was no settleable solids concentration reported on 14 September 2011. Further communication with the Discharger confirmed that a sample was collected and analyzed but was inadvertently not reported due to programming issues after a change of laboratory information management system software. The Discharger submitted a copy of the Chain of Custody to Board staff on 10 November 2011 documenting that the sample was collected and a copy of the laboratory results for the missing constituent. Please take the necessary steps to ensure that all sample results are reported in the appropriate SMR.

Please note that we have re-assigned staff assignments. If you have any questions, please contact Mohammad Farhad at (916) 464-1181 or mfarhad@waterboards.ca.gov.



VICTOR VASQUEZ

Senior Water Resources Control Engineer
NPDES Compliance and Enforcement Unit

cc: Berney Sadler, Veolia Water, 1800 Willow Lake Road, Discovery Bay, CA 94505